



THE LONDON BOROUGH
www.bromley.gov.uk

BROMLEY CIVIC CENTRE, STOCKWELL CLOSE, BROMLEY BR1 3UH

TELEPHONE: 020 8464 3333

CONTACT: Kevin Walter
kevin.walter@bromley.gov.uk

DIRECT LINE: 020 8461 7588

FAX:

DATE: 8 May 2024

To: **ALL MEMBERS**

Subject to the Plans Sub-Committee No.1 being re-constituted and Members of the Committee being appointed, there will be a meeting of the Plans Sub-Committee No. 1 at Bromley Civic Centre, Stockwell Close, Bromley, BR1 3UH on **THURSDAY 16 MAY 2024 AT 7.00 PM**

TASNIM SHAWKAT
Director of Corporate Services &
Governance

Members of the public can speak at Plans Sub-Committee meetings on planning reports, contravention reports or tree preservation orders. To do so, you must have

- already written to the Council expressing your view on the particular matter, and
- indicated your wish to speak by contacting the Democratic Services team by no later than 10.00am on the working day before the date of the meeting.

These public contributions will be at the discretion of the Chairman. They will normally be limited to two speakers per proposal (one for and one against), each with three minutes to put their view across.

To register to speak please telephone Democratic Services on 020 8461 7588

If you have further enquiries or need further information on the content of any of the applications being considered at this meeting, please contact our Planning Division on 020 8313 4956 or e-mail planning@bromley.gov.uk

Information on the outline decisions taken will usually be available on our website (see below) within a day of the meeting.

Copies of the documents referred to below can be obtained from
[http://cds.bromley.gov.uk/](http://cds.bromley.gov.uk)

A G E N D A

- 1 **APOLOGIES FOR ABSENCE AND NOTIFICATION OF SUBSTITUTE MEMBERS**
- 2 **DECLARATIONS OF INTEREST**
- 3 **CONFIRMATION OF MINUTES OF MEETING HELD ON 21ST MARCH 2024**
(Pages 1 - 6)
- 4 **PLANNING APPLICATIONS**

Report No.	Ward	Page No.	Application Number and Address
4.1	Chislehurst	7 - 22	(23/00429/FULL6) - Abbots Park House, Orpington Road, Chislehurst, BR7 6RA.
4.2	West Wickham	23 - 46	(23/04799/FULL1) - 30 Corkscrew Hill, West Wickham, BR4 9BB.
4.3	Hayes & Coney Hall	47 - 64	(24/00512/FULL6) - The Bungalow, Hayes Mead Road, Bromley, BR2 7HR.

5 **CONTRAVENTIONS AND OTHER ISSUES**

NO REPORTS

6 **TREE PRESERVATION ORDERS**

NO REPORTS

The Council's [Local Planning Protocol and Code of Conduct](#) (Chapter 30, Section 7, Page 19) sets out how planning applications are dealt with in Bromley.

PLANS SUB-COMMITTEE NO. 1

Minutes of the meeting held at 7.00 pm on 21 March 2024

Present:

Councillor Alexa Michael (Chairman)
Councillor Christine Harris (Vice-Chairman)
Councillors Jonathan Andrews, Graeme Casey, Simon Fawthrop,
Kira Gabbert, Jonathan Laidlaw, Ruth McGregor, Tony Owen and
Mark Smith

Also Present:

48 APOLOGIES FOR ABSENCE AND NOTIFICATION OF SUBSTITUTE MEMBERS

Apologies received from Cllr Hitchins, and Cllr Fawthrop attended as Substitute.

49 DECLARATIONS OF INTEREST

None received.

50 CONFIRMATION OF MINUTES OF MEETING HELD ON 25TH JANUARY 2024

The Minutes of the meeting held on 25th January 2024 were confirmed and signed as a correct record.

51 PLANNING APPLICATIONS

51.1 BROMLEY COMMON & HOLWOOD

(23/04822/FULL6) - Little Orchard, Barnet Wood Road, Hayes, Bromley, BR2 8HJ

A presentation was given by Planning in which Members were informed that the application was for a single storey rear extension, with the existing covered side car port to form a ground floor extension with parapet wall and tiled pitched roof. Also to be included was a first floor front and side extension.

It was noted that the applicants had a second application for this property due for consideration at this meeting under Agenda Item 4.2 (23/04823/FULL6).

It was confirmed that the current application was similar to an application that was refused planning permission on 17th March 2023 and dismissed at appeal on 9th October 2023 (23/00227/FULL6). Page 10 of the Report confirms the refusal reason for the application. Amendments had been made to the previous application, as outlined on pages 11 and 12 of the Report.

Planning confirmed that extensions already made to the property had resulted in an increase of 35% in the floor area of the original dwelling, This figure clearly showed that the property had already been disproportionately enlarged in relation to the Green Belt under the NPPF and Policy 51 of the Bromley Local Plan. The current proposals would result in an overall increase of 67% in the floor area compared to the original. Planning also stated that no special circumstances had been provided by the Applicant for consideration.

An oral representation was then received from the Agent who confirmed to Members that it was felt the current application was a positive response to the previous appeal decision, with the changes made to the proposals. Members also heard that design was not an issue previously and shouldn't be now. In addition, two letters of support from neighbours had been received confirming there were no objections to the plans. The Agent also stated that the overall size of the property would have been increased to a greater extent if the applicant had decided to submit plans for an extension under Permitted Development.

Following a discussion regarding Permitted Development and a 'fall back' position, Planning advised Members that no weight should be given to a 'fall back' as prior approval had not been obtained.

Ward Member, Councillor Dr Gupta, was due to attend the meeting to speak in support of the application but had sent his apologies that he was unable to attend. Cllr Dr Gupta had provided a statement which had been circulated to Members and Officers prior to the meeting, and it was also read out by the Chairman.

Ward Councillor and Committee Member, Councillor Laidlaw, then confirmed to Members that he couldn't

see any reason not to support the application for the reasons given by Cllr Dr Gupta.

Although acknowledging and understanding the points raised, several Members also confirmed that the property was located in a Green Belt area and adjacent to the Bromley, Hayes and Keston Common Conservation area, and voiced their concerns that the application was still required to be considered following the relevant policies for such cases.

Some Members stated that the reductions to the plans following the previous application were seen to be minimal, the property had already been extended significantly over the years and the overall increase in floor area was a major consideration. Furthermore, no special circumstances had been provided and Members had a duty to follow policy.

A motion for approval was then voted on but was not carried.

Members having considered the Report, objections and representations **RESOLVED that PERMISSION BE REFUSED** as recommended for the reasons set out in the Report.

**51.2
BROMLEY COMMON &
HOLWOOD**

**(23/04823/FULL6) - Little Orchard, Barnet Wood
Road, Hayes, Bromley, BR2 8HJ**

Members were notified in the presentation given by Planning that the application was for a part one/two storey side extension.

It was acknowledged that although the application was similar to an application previously approved in 2007, Policies, Plans, Guidance may have changed since, with greater emphasis now given on specific areas eg Green Belt development.

Planners felt that the proposed extension would still result in an increase in floor area of over 10% when compared to the original dwelling, thereby resulting in inappropriate development within the Green Belt. Additionally, the applicants had not provided details of any special circumstances for consideration.

An oral representation was then given by the Agent who confirmed that this was not a resubmission of the

application that was previously refused and dismissed at appeal (23/00227/FULL6), as stated under Item 7.1.1 on page 30 of the Report. It is however a similar scheme to the application approved in 2007. The Agent stated that in his view, there had been no changes to the policies since 2007 that would now result in the application not being approved.

In response to a question from a Member, Planners confirmed that a lot of the wording may have been carried forward with Planning policies and legislation, (and the NPPF coming in in 2012). The wording regarding development in the Green Belt remained the same, with the emphasis on Green Belt protection now stronger than ever.

As with Agenda Item 4.1, Ward Member, Councillor Dr Gupta, was due to attend the meeting to speak in support of the application but had sent his apologies that he was unable to attend. Cllr Dr Gupta had provided a statement which had been circulated to Members and Officers prior to the meeting, and it was also read out by the Chairman.

Ward Councillor and Committee Member, Councillor Laidlaw, then confirmed to Members that he appreciated this was a difficult case to consider with understandable concerns for the Green Belt. However, he couldn't see that the plan would have a significant detrimental effect on the Green Belt or neighbours and would be inclined to support the application.

Some Members voiced the opinion that consistency was important, with the need to follow and implement Green Belt policy and guidance of great importance. Attention was also drawn to the Appeal Inspector's statement on page 35 of the Report, with the need to give the comments made serious consideration.

A motion for approval was then voted on but was not carried.

Members having considered the Report, objections and representations **RESOLVED that PERMISSION BE REFUSED** as recommended for the reasons set out in the Report.

This page is left intentionally blank

Agenda Item 4.1

Committee Date	16.05.2024	
Address	Abbots Park House Orpington Road Chislehurst BR7 6RA	
Application Number	23/00429/FULL6	Officer - Jacqueline Downey
Ward	Chislehurst	
Proposal	Proposed outbuilding with carport, first floor leisure accommodation including three pitched roof dormers and rooflights.	
Applicant	Agent	
Mrs J Collins	Mr David Draper	
Abbots Park House Orpington Road Chislehurst BR7 6RA	9 Ruskin Grove Dartford DA1 5DD	
Reason for referral to committee	Councillor call in	
	Call-In	<p>Yes - Cllr Mark Smith Reason: On the balance of what I have read and seen with regard to this application, I feel it is worthy of support.</p> <p>If officers are minded to refuse this application, I would ask that the final decision is made by a plans sub-committee.</p>

RECOMMENDATION	REFUSAL
-----------------------	---------

<p>KEY DESIGNATIONS</p> <p>Article 4 Direction Area of Special Residential Character Biggin Hill Safeguarding Area London City Airport Safeguarding Sites of Interest for Nat. Conservation Smoke Control SCA 17</p>
--

Land use Details		
	Use Class or Use description	Floor space (GIA SQM)
Existing	C3 Single Dwelling	Not provided
Proposed	C3 Single Dwelling	51sqm additional floor space

Vehicle parking	Existing number of spaces	Total proposed including spaces retained	Difference in spaces (+ or -)
Standard car spaces	(Details not provided)	(Details not provided)	

Representation summary	Letters to neighbours were sent out on the 15.03.2023 A statutory site notice was displayed on the 21.03.2023 A press advert was published in the News Shopper on the 22.03.2023
Total number of responses	1
Number in support	0
Number of objections	1

1. SUMMARY OF KEY REASONS FOR RECOMMENDATION

- **The development would result in a harmful impact on the character of the Marlings Park Estate Area of Special Residential Character and the area generally.**
- **The development would have an unacceptable impact on valuable trees**

2. LOCATION

2.1. The site comprises a detached two storey dwelling set within a generous plot. The site is located on the eastern side of Orpington Road and the wider area is characterised by residential properties which are principally detached within large plots to the eastern side of Orpington Road. The site is situated within the Marlings Park Estate Area of Special Residential Character (ASRC). To the western side of Orpington Road is St Paul's Common which is designated as Green Belt land and a Site of Importance for Nature Conservation (SINC).

2.2. There are three trees on the site which are subject to a Tree Preservation Order (TPO ref. 2925 date made 20/10/2023) which are a Yew, Sycamore and Lime trees.

Figure 1: Location Plan:



3. PROPOSAL

3.1. Planning permission is sought for a raised outbuilding supported by columns to the front which would comprise of a car port for four cars at ground floor and at first floor, accommodation including a games room, bathroom, kitchen and study and would be accessed by an external staircase.

Figure 2: Proposed site plan showing dotted outline and columns of the car port



Figure 3: Proposed car port and first floor plans

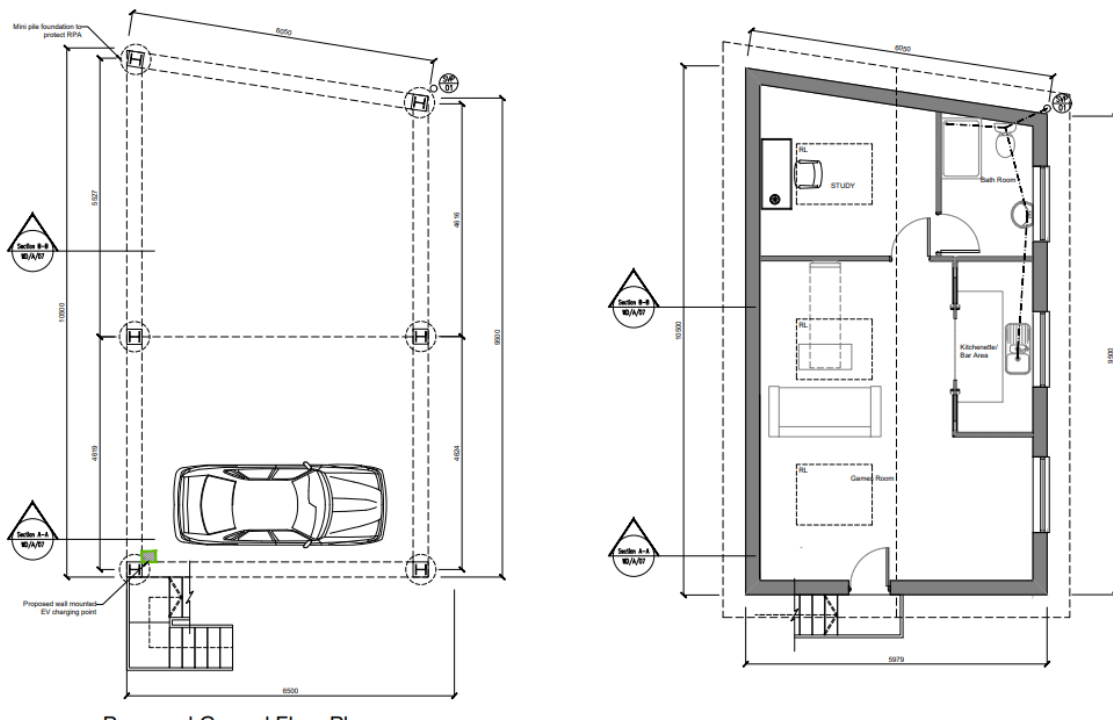
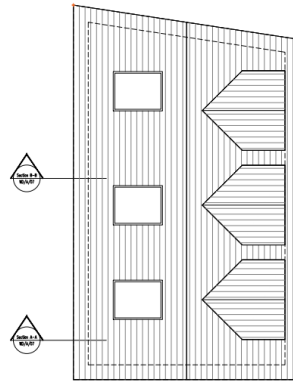


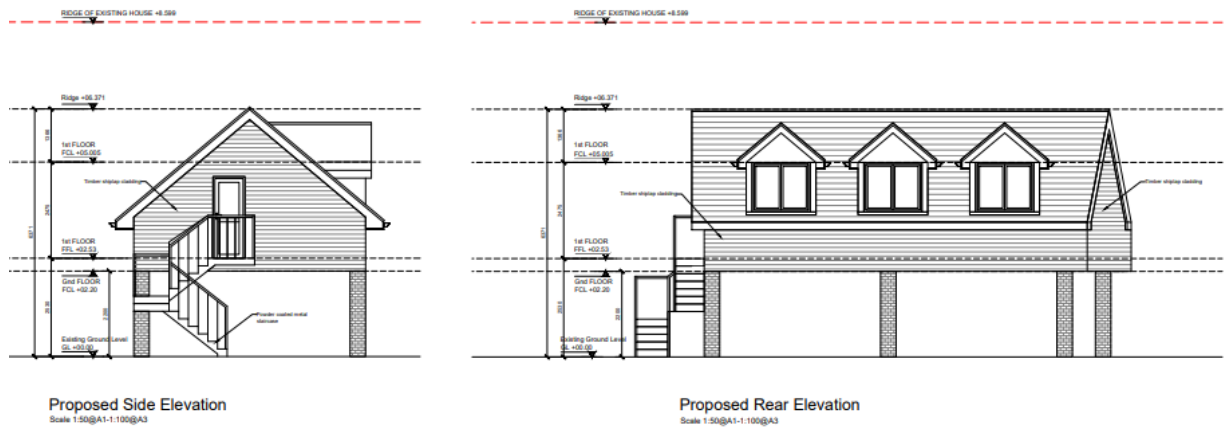
Figure 4: Proposed roof plan



Proposed Roof Plan
Scale 1:50@A1-1:100@A3

3.2. The outbuilding would have a width of between 10.5m and 9.5m, a depth of 6m and it would have a pitched roof with three pitched roof dormers and rooflights with a ridge height of 6.4m.

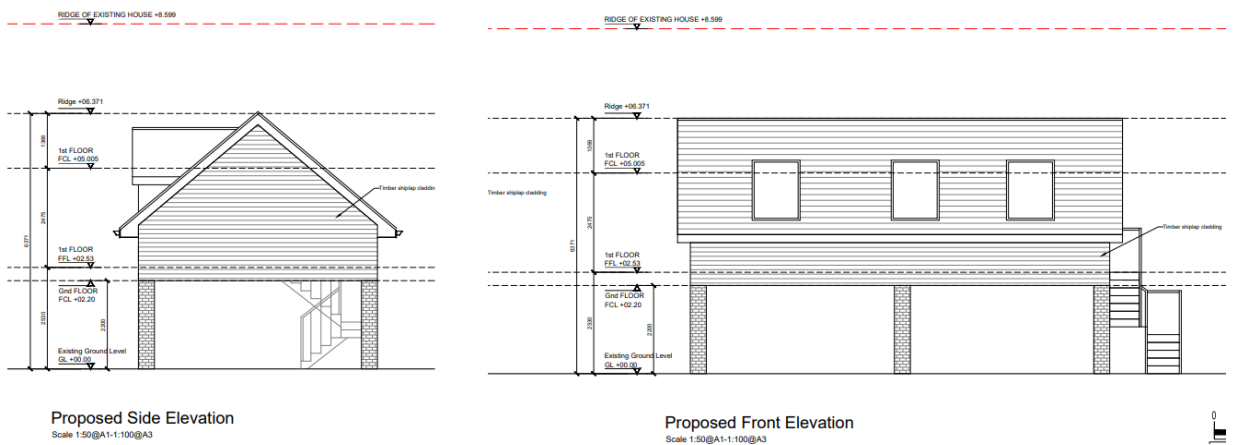
Figure 5: Proposed side and rear elevation



Proposed Side Elevation
Scale 1:50@A1-1:100@A3

Proposed Rear Elevation
Scale 1:50@A1-1:100@A3

Figure 6: Proposed side and front elevation



Proposed Side Elevation
Scale 1:50@A1-1:100@A3

Proposed Front Elevation
Scale 1:50@A1-1:100@A3

4. RELEVANT PLANNING HISTORY

4.1.19/04635/FULL6 - Demolish existing single garage and conservatory and construction of single storey rear extensions, incorporating new orangery. Construction of two storey side extension, loft conversion with dormer to rear and elevational alterations. – Permitted

5. CONSULTATION SUMMARY

A) Statutory

Trees: **Objections** -: An objection is raised to the above proposal due to the unacceptable risk of harm to valuable TPO trees.

The reasons for the objection can be brought under 3 headings:

- 1) Lack of information
- 2) Risk of harm during construction
- 3) Future pressure to prune/remove

1) A tree survey has not been submitted. An Arb Impact Assessment has not been submitted. Any potential impact on the trees from construction or future pressure has not been assessed. For example, the RPAs of the trees have not been plotted, the extent of each proposed encroachment has not been calculated, the impact on the trees of each encroachment has not been assessed and the extent of the canopies has not been accurately depicted.

2) Given the size of the trees and the proximity of the footprint, there is a risk of direct harm to the tree roots from any digging required for foundations within the RPA and unfavourable cutting of branches required to facilitate development.

3) Though it has not been assessed by the applicant, the proposed building could position a permanent target within the dripline of the canopy of the TPO Lime, Yew and Sycamore trees. Whilst this does not increase the likelihood of branch failure, it does increase the following:

- a) the likelihood of branches hitting a target in the event of failure,
- b) the likelihood of nuisance factors being experienced by the homeowner
- c) the perception of risk experienced by the homeowner,

All of the above increase the likelihood of the homeowner making applications for permission to prune/remove the tree. Whilst b) and c) may not be given much weight in any decisions, the Council must give weight to a). Therefore, works that would otherwise not have occurred are more likely to be undertaken to the tree.

Therefore, an objection is raised on the basis that there is a risk of unacceptable harm to valuable trees and insufficient information submitted to provide reassurance that any such risk can be controlled to within acceptable levels. The proposal conflicts with policies 73 and 74 of the Bromley Local Plan

B) Local Groups

None were received

C) Adjoining Occupiers

Overdevelopment and excessive scale (addresses in para 7.1)

- this two-storey building constitutes over-development of the neighbourhood and is excessive
- proposal for first floor leisure, built with a substantial roof is essentially a third house at the same address
- Not appropriate

Disturbance from building works (addresses in para 7.4)

- already endured significant building works directly adjacent to neighbouring house very recently
- suffered significant deterioration of views from the garden
- Whilst the current proposal occupies land not adjacent to their boundary, they also object on grounds of construction work and noise.
- currently nursing very elderly parent and this would be most unwelcome at this time
- especially if there was any construction access proposed from our side

6. POLICIES AND GUIDANCE

National Planning Policy Framework 2023

NPPG

The London Plan

- D1 London's form and characteristics
- D3 Optimising site potential through the design led approach
- D4 Delivering good design
- G6 Biodiversity and access to nature
- T6 Car Parking

Bromley Local Plan 2019

- 6 Residential Extensions
- 7 Accommodation for Family Members
- 32 Road Safety
- 37 General Design of Development
- 44 Areas of Special Residential Character
- 69 Development and Nature Conservation Sites
- 73 Development and Trees
- 74 Conservation and Management of Trees and Woodlands

Bromley Supplementary Guidance

- Urban Design Supplementary Planning Document (July 2023)

7. ASSESSMENT

7.1. Design and impact on the ASRC – Unacceptable

7.1.1. Policies 6 and 37 of the Bromley Local Plan and the Council's Supplementary Planning Guidance seek to ensure that new development, including residential extensions are of a high quality design that respect the scale and form of the host dwelling and are compatible with surrounding development.

7.1.2. Policy 44 requires development to respect, enhance and strengthen the special and distinctive qualities of the designated Areas of Special Residential Character. Relevant extracts from the ASRC description are as follows:

- The area is bounded by the A208 and Greenbelt to the West, the railway to the south and by residential areas of a distinct character to the east and the north beyond Leasons Hill which all provide a defensible and robust boundary
- Houses include good size back gardens and front gardens most of which remain open and many of which are landscaped with trees, shrubs and flower beds and/or fronted by low boundary walls.
- Properties on Orpington Road however are an exception as these feature gates, high boundary walls and hedges in keeping with the larger average size and footprint of houses which are set within larger and longer plots than in other parts of the area. Trees to the rear and in gaps between properties are visible from the street. The public realm is of a high quality with pavements featuring grassed verges and trees.
- Most houses are of a good quality Neo Tudor architectural or Arts and Craft design which gives pride of place to English vernacular features.

7.1.3. In the local area, many properties feature large front gardens and driveways with many being free of development, though there is an example of a front detached garage at the nearby neighbouring property 'Cedarwood' which is adjacent to the front boundary. However, this structure is a single storey with a low crown pitched roof which therefore does not appear dominant or overbearing from the street scene.

7.1.4. The proposed outbuilding would be substantial in scale with a very tall pitched roof of 6.4m in height with three dormers and a maximum length of 10.5m and width of 6m. Furthermore, it would be situated close to the front boundary with a gap of between 2.4m and 1.7m. Therefore, as a result of its scale, height and proximity to the front boundary would appear as a more dominant and bulky structure to the front garden than the example at 'Cedarwood' and would result in an incongruous and visually dominant addition to the street scene.

7.1.5. The proposed car port and outbuilding would provide approx. four parking spaces below with an external stairs to the accommodation at first floor level with a garden room, study bathroom and kitchen and would have a gross internal areas (GIA) of

51sqm which is a significant floor area in particular considering its raised and prominent position.

- 7.1.6. Whilst the properties are set back from the main road with a number of trees along the front boundaries, there is a public footpath which is in close proximity to the front boundary of the site and the outbuilding would be constructed very near to the front boundary and to the trees to the front of the site which could lead to pressure on the pruning on the trees. The building would project significantly above the existing front boundary wall and would be prominent and detrimental to the visual amenity in particular from the path and also from the road. Whereas currently there are generally only glimpses of the well set back houses visible from the public highway. It would also be highly visible from the surrounding properties which would result in a detrimental impact on the visual amenities of the surrounding area. This tall, substantially sized front raised outbuilding and car port would therefore appear over dominant and incongruous building in the street scene which would be detrimental to the woodland setting and large generally open front gardens of this part of the Markings Park ASRC.
- 7.1.7. The accommodation proposed would include a kitchen and bathroom as well a large games room and a study and is situated to the front of the site accessed from an external stairwell. There is however no indication that the accommodation is intended to be for residential accommodation (i.e. sleeping) and in the event that the application were acceptable in all other respects, a condition would be recommended to ensure that the outbuilding would only be used for purposes incidental to the enjoyment of the main dwelling, and not as self-contained residential accommodation.
- 7.1.8. Having regard to the form, scale, siting, and accommodation proposed it is therefore considered that the outbuilding would not complement the host property and would appear out of character with surrounding development and the Marlings Park Estate ASRC.

7.2. Highways – Acceptable

- 7.2.1. The proposal involves the creation of a carport below the proposal outbuilding on pillars and there would be at least two additional spaces, given the hardstanding and trees restrict access to the western half of the car port and there would continue to be a number of spaces on the front drive for parking, therefore the proposal would continue to have sufficient on-site parking. The outbuilding and car port would however be built across a gate and driveway between Abbots Park House and Kyrle House which would obstruct vehicular access between the two sites therefore it is unclear whether the existing hardstanding here can be used for parking. If the application were otherwise recommended for permission, details could be sought on its status and what are the access arrangements for Abbots Park House and Kyrle House and this is not considered to be a significant concern which would amount to a refusal of the application on this basis.

7.3. Trees – Unacceptable

- 7.3.1. The planning system should contribute to and enhance the natural and local environment by protecting and enhancing valued landscapes, geological conservation interests and soils; minimising impacts on biodiversity and providing net gains in

biodiversity where possible. The NPPF addresses ecology in paragraph 109 which states, the planning system should aim to conserve and enhance the natural and local environment by minimising impacts on biodiversity and providing net gains in 10 biodiversity where possible, contributing to the Government's commitments, which include establishing ecological networks that are more resilient to current and future pressures. Paragraph 118 of the NPPF also states that opportunities to incorporate biodiversity in and around developments should be encouraged.

7.3.2. Policy G7C of the London Plan states: Development proposals should ensure that, wherever possible, existing trees of value are retained*. If planning permission is granted that necessitates the removal of trees there should be adequate replacement based on the existing value of the benefits of the trees removed, determined by, for example, i-tree or CAVAT or another appropriate valuation system. The planting of additional trees should generally be included in new developments - particularly large-canopied species which provide a wider range of benefits because of the larger surface area of their canopy.

7.3.3. Policy 73 of the Bromley Local Plan requires proposals for new development to take particular account of existing trees and landscape features on the site and adjoining land. Policy 74 stipulates that to improve the amenity and conservation value of trees and woodlands, the Council will:

- Encourage appropriate beneficial management;
- Encourage appropriate new tree planting in suitable locations; and
- Promote public interest in and enjoyment of trees and woodlands.

7.3.4. The proposed outbuilding would be sited to the front (south-western) corner of the application site and there are a number of mature trees in close proximity to the siting of the proposal including three TPO trees comprising of a Yew, Lime and Sycamore trees (TPO ref. 2925) and the TPO was made of the 10/10/2023 and confirmed on the 16/04/2024. The Tree Officer's having assessed the trees' condition, retention span, relative public visibility, other factors and the extent of any threat to the trees, concluded that the trees were worthy of protection by a TPO. The trees are situated to the front of the site and therefore are of high amenity value to the street scene and are considered desirable to be retained.

7.3.5. Tree Officers have reviewed the submission and have raised objection to the application due to the unacceptable risk of harm to valuable TPO trees and lack of information submitted to provide reassurance that any such risk can be controlled to within acceptable levels which is as following:

7.3.6. 1) An Arboricultural Impact Assessment has not been submitted which was requested and has not been provided. Any potential impact on the trees from construction or future pressure has not been assessed. In the Tree Survey drawing submitted the RPAs of the trees have not been accurately plotted, the extent of each proposed encroachment has not been calculated, the impact on the trees of each encroachment has not been assessed and the extent of the canopies has not been accurately depicted.

2) Given the size of the trees and the proximity of the footprint, there is a risk of direct harm to the tree roots from any digging required for foundations within the RPA and unfavourable cutting of branches required to facilitate development.

3) Though it has not been assessed by the applicant, the proposed building could position a permanent target within the dripline of the canopy of the TPO Lime, Yew and Sycamore trees. Whilst this does not increase the likelihood of branch failure, it does increase the following:

- a) the likelihood of branches hitting a target in the event of failure,
- b) the likelihood of nuisance factors being experienced by the homeowner
- c) the perception of risk experienced by the homeowner,

7.3.7. All of the above increase the likelihood of the homeowner making applications for permission to prune/remove the trees. Whilst b) and c) may not be given much weight in any decisions, the Council must give weight to a). Therefore, works that would otherwise not have occurred are more likely to be undertaken to the trees.

7.3.8. It was also requested for further details of the pile foundation be submitted including a drawing that shows pile locations relative to tree stems and RPAs (so a typical aerial view plan) and also a cross section above/below ground drawing to show levels relative to the original ground level (where piles are within the RPA). The reason for the latter is that some of the benefit of using piles would be to some degree negated if, for example, the ground preparation involved scrapping away the top 30cm of soil anyway.

7.3.9. The above details, survey and Arboricultural Impact Assessment and tree pruning schedule would determine whether the Tree Officers would consider the impact acceptable so the information would be required prior to determination.

7.3.10. Further information was submitted by the agent on the 12/01/2024 which included additional drawings comprising of a site plan titled 'proposed tree survey' with tree RPA and tree schedule, 'proposed section CC' drawings with a proposed foundation pile detail with trees shown along with revision of the submitted drawings including 'proposed sections' with a mini pile foundation detail, existing location and site plan, proposed block plan and proposed elevations. The drawings include updated trees and vegetations plotting.

7.3.11. Whilst some additional information has been provided, several of the points raised by the Tree Officer in their objections and requested information and survey above (points 1 -3) have not been addressed and still remain. For instance, Arboricultural Impact Assessment has not been submitted, the extent of the canopies has still not been accurately depicted, the extent of each proposed encroachment has not been calculated nor has the impact on the trees of each encroachment been assessed, no specification of pruning works required to facilitate development has been submitted and the concern about future pressure (no.3 of the objection) remains due to the proximity of the proposed building to the trees.

7.3.12. Therefore, an objection is raised on the basis that there is a risk of unacceptable harm to valuable trees and insufficient information submitted to provide reassurance

that any such risk can be controlled to within acceptable levels. The proposal conflicts with policies 73 and 74 of the Bromley Local Plan

7.4. Neighbouring Amenity – Acceptable

- 7.4.1. Policy 37 of the BLP seeks to protect existing residential occupiers from inappropriate development. Issues to consider are the impact of a development proposal upon neighbouring properties by way of overshadowing, loss of light, overbearing impact, overlooking, loss of privacy and general noise and disturbance.
- 7.4.2. The proposed outbuilding on pillars would be separated by 10.4m from the neighbouring property at Kyrle House and it would be sited between 1.8m and 2.1m from the shared boundary. There is a significantly greater level of separation to the other side boundary shared with Two Elms therefore it would not be highly visible from this neighbouring property. The separation from Kyrle House is still fairly significant, therefore whilst the main bulk is raised up at first floor level with a maximum height of 6.4m and its overall size with a length of 10.5m along the shared boundary is quite significant, the separation and oblique siting of the proposed outbuilding is considered sufficient to prevent a harmful loss of amenity to the neighbouring properties in terms of outlook, light and prospect.
- 7.4.3. The first floor of the outbuilding would be served by rooflights to the side facing Kyrle House and three dormers to the northern side. The rooflights are at a low level in the roof slope therefore would provide an outlook towards the neighbouring site. However, it is considered that this matter could be addressed through a condition being imposed restricting the rooflights to obscure glazing if permission was otherwise recommended.
- 7.4.4. Concerns have been raised by local residents regarding the construction noise and disturbance. The hours of construction would however been controlled by other acts or consents such as Public Protections and Building Regulations and are not a material planning consideration.
- 7.4.5. Having regard to the scale, siting, separation distance, orientation, existing boundary treatment of the development, it is not considered that a significant loss of amenity with particular regard to light, outlook, prospect and privacy would arise.

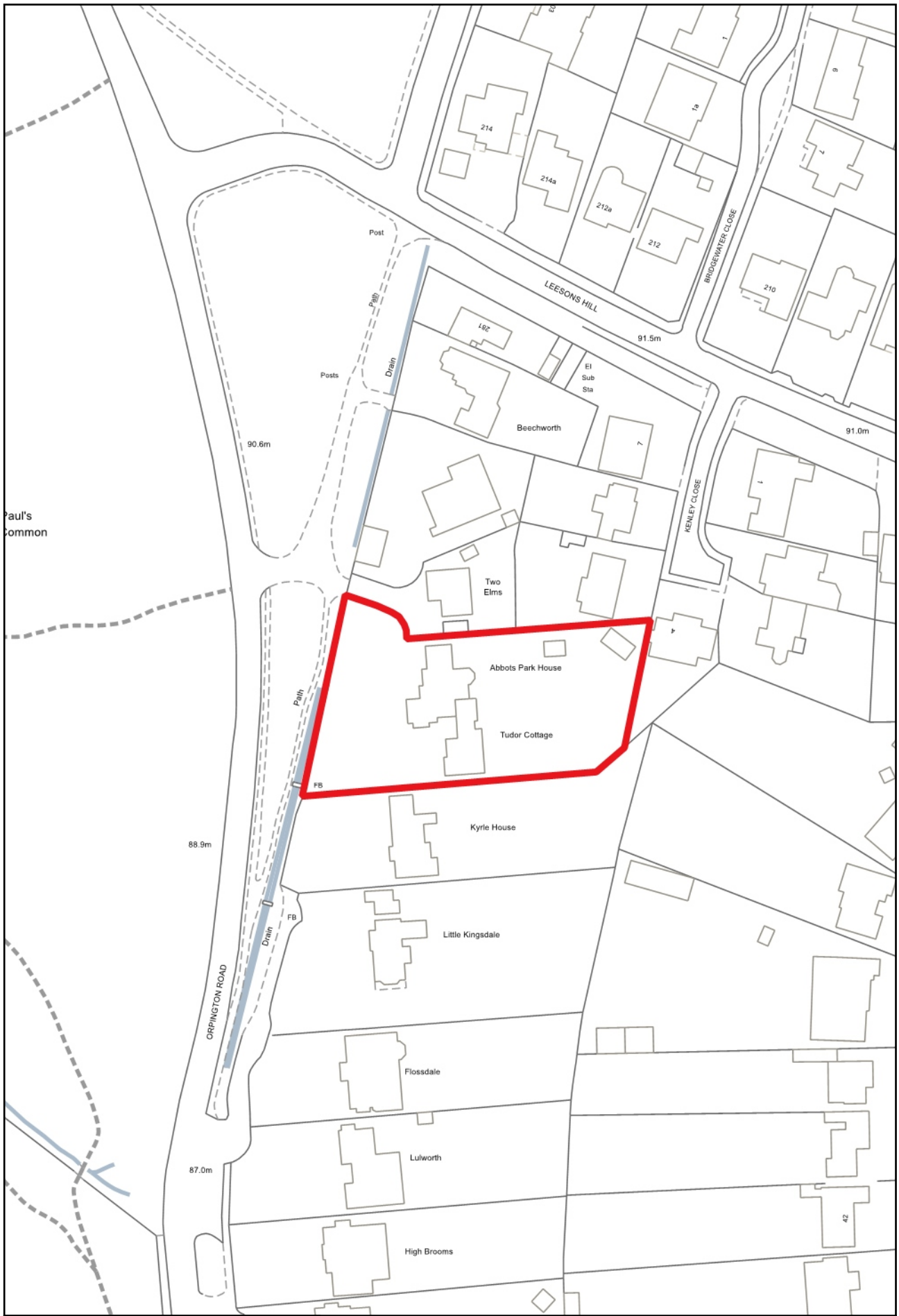
8. CONCLUSION

- 8.1. Having had regard to the above it is considered that the development in the manner proposed is unacceptable as it would impact detrimentally on the character of the Marlings Park ASRC and the visual amenities of the area generally. Furthermore, the proposal would result in a risk of unacceptable harm to valuable trees and insufficient information submitted to provide reassurance that any such risk can be controlled to within acceptable levels.
- 8.2. Background papers referred to during production of this report comprise all correspondence on the files set out in the Planning History section above, excluding exempt information.


RECOMMENDATION: REFUSED

- 1. The proposed detached garden outbuilding by reason of its overall scale, siting and proximity to the boundaries would result in an incongruous and visually dominant addition to the street scene and would fail to respect, enhance or strengthen the character and distinctive qualities of the Marlings Park Estate Area of Special Residential character; thereby contrary to Policies 6, 37 and 44 of the Bromley Local Plan.**
- 2. The proposed development would present a risk of unacceptable harm to valuable trees and insufficient information has been submitted to provide reassurance that any such risk can be controlled to within acceptable levels, contrary to policies 73 and 74 of the Bromley Local Plan.**

This page is left intentionally blank



© Crown copyright and database rights 2024.
Ordnance Survey 100017661.


23/00429/FULL6

the council's planning department
www.bramley.gov.uk



07 May 2024

1:1250



Page 21

This page is left intentionally blank

Agenda Item 4.2

Committee Date	16.05.2024	
Address	30 Corkscrew Hill West Wickham BR4 9BB	
Application Number	23/04799/FULL1	Officer - Russell Penn
Ward	West Wickham	
Proposal	Demolition of existing garage and erection of three bedroomed detached dwelling.	
Applicant	Agent	
RACHEL SHAW	Mr Paul Adamson	
30 Corkscrew Hill West Wickham Bromley BR4 9BB	18 Godstone Road Caterham CR3 6RA United Kingdom	
Reason for referral to committee	Councillor call in	
	Call-In	Yes – Cllr Mark Brock. In summary, overdevelopment. Natural light currently enjoyed by No.28 would be affected. Driveway move for the existing property looks dangerous for the junction of Courtfield Rise.

RECOMMENDATION	Application Permitted
-----------------------	-----------------------

<p>KEY DESIGNATIONS</p> <p>Article 4 Direction Biggin Hill Safeguarding Area London City Airport Safeguarding Statutory Listed Buffer Smoke Control SCA 51</p>

Land use Details		
	Use Class or Use description	Floor space (GIA SQM)
Existing	Use Class C3 (garage building)	38m ²
Proposed	Use Class C3 (dwelling house)	103m ²

Residential Use – See Affordable housing section for full breakdown including habitable rooms					
	Number of bedrooms per unit				
	1	2	3	4 Plus	Total / Payment in lieu
Market			1		1
Total			1		1

Vehicle parking	Existing number of spaces	Total proposed including spaces retained	Difference in spaces (+ or -)
Standard car spaces	0	2	2
Disabled car spaces	0	0	2
Cycle	0	2	2

Electric car charging points	0
-------------------------------------	---

Representation summary	Neighbour letters were sent out on 02/01/2024 An Article 13 Site Notice was displayed on the site on 09/01/24 An Article 13 Press Advertisement was published on 10/01/24	
Total number of responses	3	
Number in support	0	
Number of objections	3	

1 SUMMARY OF KEY REASONS FOR RECOMMENDATION

- The site optimisation of the proposed scheme is acceptable and will contribute towards meeting housing supply needs.
- The development will not be detrimental to the character and appearance of the area.
- The proposed development will have a high quality design and would not have an unacceptable impact on the amenity of neighbouring occupiers.
- The standard of the accommodation that will be created will be good.
- The proposal will not have an adverse impact on the local road network or local parking conditions.
- The proposal will be constructed in a sustainable manner and will achieve good levels of energy efficiency.

2 LOCATION

- 2.1 The site is located on the east side of Corkscrew Hill at the junction with Courtfield Rise and comprises one half of a triangular shaped plot with a chalet style semi-detached dwelling at an angled footprint to streetscene relationship. To the northwest on the opposite side of the Corkscrew Hill / Courtfield Rise junction is a similar but opposing pattern of development. A new dwelling at No 32a has been built on part of that site. Currently a large detached double garage is situated on approximately the footprint of the proposed dwelling.



Figure 1: Location Plan

- 2.2 Corkscrew Hill slopes gently upwards from south east to northwest with No 28 having a marginally lower ground level than the application site.
- 2.3 The site is not located in a conservation area nor is the building listed.



Figure 2: Location of proposed house

3 PROPOSAL

- 3.1 Planning permission is sought for demolition of existing garage and erection of three bedroomed detached dwelling.
- 3.2 The plans indicate the land to the south side of the site is to be divided with an irregular boundary line tapering inwards to the rear. A two storey dwelling is indicated positioned 2.4m from the existing side boundary with No 28 and 1m from the new boundary.
- 3.3 Materials are indicated as facing brickwork and concrete interlocking tiles and white upvc windows.



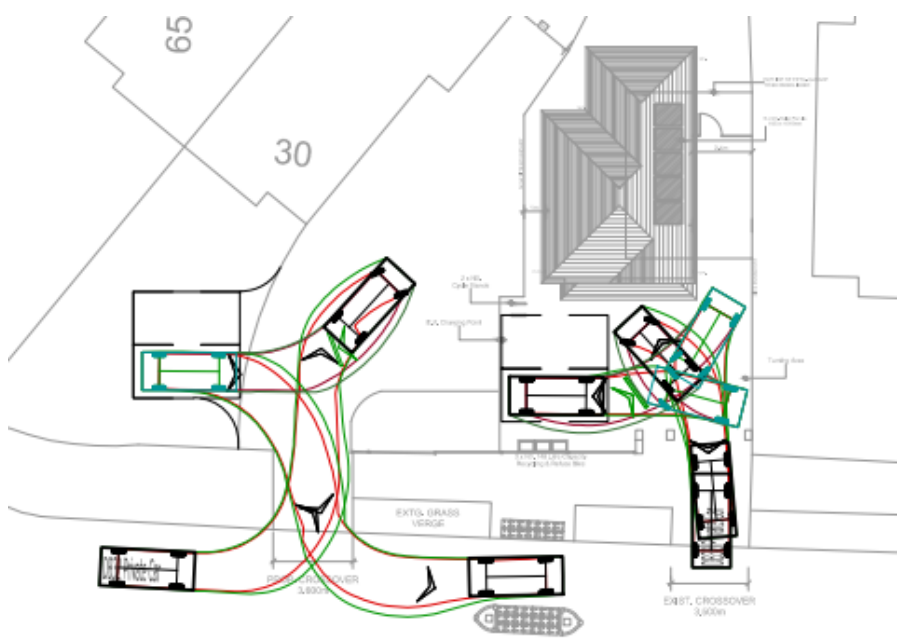
Figure 3: Proposed street scene elevation



Figure 4: Proposed elevations

3.4 The existing vehicular access will be utilised for the new dwelling and a new vehicular access is proposed for the existing dwelling including a turning area.

Figure 5: Proposed vehicular access



3.5 The application was supported by the following documents:

- Design and Access Statement
- Fire Statement
- Stage 1 Road Safety Audit - Designers Response Report
- Proposed New Dwelling & Associated Access - Combined Stage 1 & 2 Road Safety Audit

4 RELEVANT PLANNING HISTORY

4.1 The relevant planning history relating to the application site is summarised as follows:

4.2 87/01281/FUL: First floor side extension - semi-detached house. Approved 10.06.1987

4.3 90/01809/FUL: Detached double garage. Approved 23.08.1990

4.4 23/01815/FULL1: Demolition of existing garage and erection of three bedroomed detached dwelling with associated parking and landscaping. Refused 05.07.2023

- The proposed development would be a cramped overdevelopment of the site where there is an unacceptable impact upon the spatial character of the locality by reason of location, siting and close proximity to neighbouring buildings and property boundaries within the surrounding development pattern and spatial layout of the area which would have a serious and adverse effect on the visual amenity of the streetscene contrary to Policies 4, 8, 37 of the Bromley Local Plan and Policies D3 and H2 of the London Plan and the NPPF (2021).
- The proposed development by reason of its overbearing nature, siting and proximity to neighbouring buildings and property boundaries would have a serious and adverse effect on the residential amenity enjoyed by the occupants of neighbouring property contrary to Policies 4, 8 and 37 of the Bromley Local Plan and Policies D3, D6 and H2 of the London Plan and the NPPF (2021).

5 CONSULTATION SUMMARY

A) Statutory

Environmental Health Pollution Officer – No objection

- Standing advice received. Officers consider noise pollution and air quality to be the main considerations at this site. Conditions recommended for further information in relation to any gas boilers being low NOx; Construction and Environmental Management Plan

Drainage Officer – No objection

- Further details of surface water drainage to be sought by planning condition.

Highways Officer – No objection

- The development is in an area with PTAL rate of 2 on a scale of 0 – 6b, where 6b is the most accessible.
- Access - the development would be utilising the existing access for the proposal. However, the donor property will be accessed via a new crossover, but there is a pedestrian refuge island and telephone pole which may interfere with the crossover. The applicant must be made aware that all the works inclusive of all services would be at his cost. Moreover, according to Policy 34 of Bromley's local plan, as Corkscrew Hill is a Local Distributor Road (LD) therefore the applicant is required to provide this office with a road safety audit (Stage 1 and 2) must be provided prior to the planning consent.
- Two car parking spaces for the development are indicated and the donor property can accommodate parking spaces within the site's curtilage.
- A parking layout, swept path analysis, and Road Safety Audit has been submitted for the donor house. It is considered that these are satisfactory.
- Cycle parking is indicated and acceptable. Refuse store is indicated.
- No objection in principle.

B) Local Groups

- No comments.

C) Adjoining Occupiers

Character (addressed in para 7.3)

- Moving building by 1.4m will not solve cramped nature of the development at this location.

Neighbour amenity (addressed in para 7.6)

- Still concerns with proximity of new dwelling at 2.4m and differing land levels between the site and neighbouring property causing reduction in light.
- Neighbouring property relies on longstanding open aspect to side to provide light to the upper level overhanging side extension and side entrance.
- Building will overlook and overshadow neighbouring property.
- Building will be overbearing to neighbouring property.

Highways and parking (addressed in para 7.5)

- Concerns with highway safety of a new second crossover access close to road junction being detrimental to the safety of many people.

- Comments the new house and extra facilities at local rugby club will increase traffic flow and dangers to highway safety.

Other comments (addressed in section 7)

- New proposal does not overcome previous refusal reasons.
- Concerns with impacts to health and wellbeing of neighbours during construction process.

6 POLICIES AND GUIDANCE

6.1 Section 70(2) of the Town and Country Planning Act 1990 (as amended) sets out that in considering and determining applications for planning permission the local planning authority must have regard to:-

- (a) the provisions of the development plan, so far as material to the application,
- (b) any local finance considerations, so far as material to the application, and
- (c) any other material considerations.

6.2 Section 38 (6) of the Planning and Compulsory Purchase Act (2004) makes it clear that any determination under the planning acts must be made in accordance with the development plan unless material considerations indicate otherwise.

6.3 The National Planning Policy Framework was revised and published on 19th December 2023. The development plan for Bromley comprises the London Plan (March 2021) and the Bromley Local Plan (January 2019). The NPPF does not change the legal status of the development plan.

6.4 The application falls to be determined in accordance with the following policies:-

6.5 National Planning Policy Framework 2023

6.6 London Plan 2021

- D1 London's form and characteristics
- D2 Infrastructure requirements for sustainable densities
- D3 Optimising site capacity through the design-led approach
- D4 Delivering good design
- D5 Inclusive design
- D6 Housing quality and standards
- D7 Accessible housing
- D11 Safety, security and resilience to emergency
- D12 Fire safety
- D13 Agent of change
- D14 Noise
- H1 Increasing Housing Supply
- H2 Small sites
- H5 Threshold Approach to application
- H8 Loss of existing housing and estate redevelopment
- H9 Ensuring the best use of stock

H10	Housing Size Mix
S4	Play and informal recreation
G5	Urban greening
G6	Biodiversity and access to nature
G7	Trees and woodlands
SI1	Improving air quality
SI2	Minimising greenhouse gas emissions
SI3	Energy infrastructure
SI4	Managing heat risk
SI5	Water infrastructure
SI7	Reducing waste and supporting the circular economy
SI13	Sustainable drainage
T2	Healthy Streets
T3	Transport capacity, connectivity and safeguarding
T4	Assessing and mitigating transport impacts
T5	Cycling
T6	Car parking
T6.1	Residential Parking
T7	Deliveries, servicing and construction

6.7 Bromley Local Plan 2019

1	Housing supply
4	Housing design
8	Side Space
30	Parking
32	Road Safety
33	Access for All
34	Highway Infrastructure Provision
37	General design of development
72	Protected Species
73	Development and Trees
77	Landscape Quality and Character
79	Biodiversity and Access to Nature
112	Planning for Sustainable Waste management
113	Waste Management in New Development
115	Reducing flood risk
116	Sustainable Urban Drainage Systems (SUDS)
117	Water and Wastewater Infrastructure Capacity
118	Contaminated Land
119	Noise Pollution
120	Air Quality
121	Ventilation and Odour Control
122	Light Pollution
123	Sustainable Design and Construction
124	Carbon dioxide reduction, Decentralise Energy networks and Renewable Energy

6.8 Bromley Supplementary Guidance

Housing: Supplementary Planning Guidance (March 2016)
Housing Design Standards - London Plan Guidance (June 2023)
National Design Guide (September 2019)

6.9 Urban Design Guide - Supplementary Planning Document (July 2023)

DG1: Reinforcing Local Character and Identity
DG3: Continuity and Enclosure
DG5: Architectural Design
DG6: Materials and Detailing
DG7: Housing Design
DG11: Landscape Design
DG14: Inclusive Design
DG18: Healthy Homes
DG20: Sustainable Design

7 ASSESSMENT

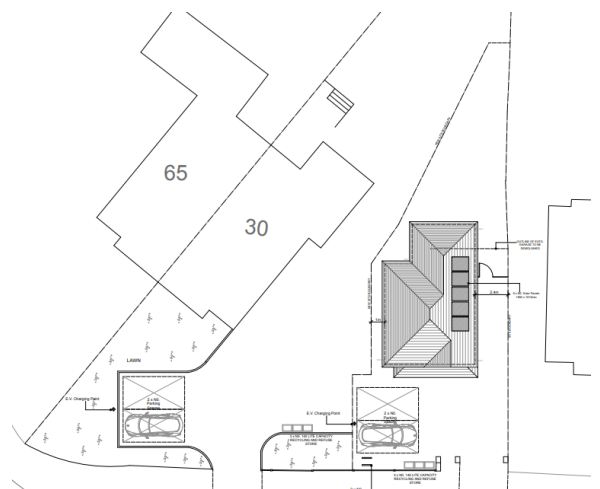
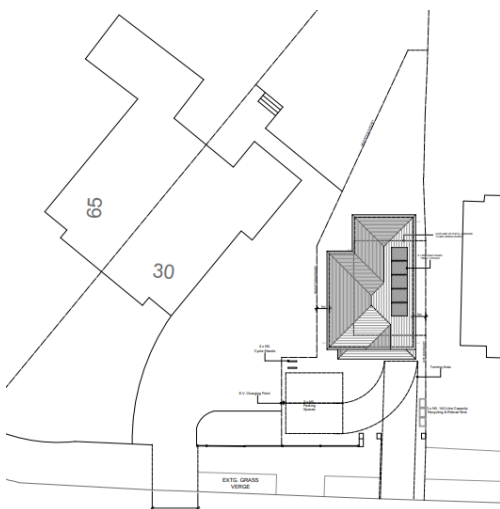
7.1 Resubmission

7.1.1 The application is a resubmission with a revised scheme of a previously refused development on the same site as detailed above in the planning history. The reader is reminded that the current scheme has altered the proposal for the site with alterations taking account of the Officer report and reasons for refusal previously given.

7.1.2 The new dwelling is to be re-located increasing the separation from No. 28 Corkscrew Hill from 1m to 2.4m

Figure 6: Site layout 23/01815/FULL1

Figure 7: Site layout current application



7.1.3 The merits of the resubmitted scheme are assessed further below.

7.2 Housing Supply and Land Use and Optimising Sites – Acceptable

- Housing Supply

7.2.1 The current published five year housing land supply (covering the period 2021/22 to 2025/26) is 3,245 units or 3.99 years supply. This position was agreed at Development Control Committee in November 2021 and acknowledged as a significant undersupply. Subsequent to this, an appeal decision from August 2023 (appeal ref: APP/G5180/W/23/3315293) concluded that the Council had a supply of 3,235 units or 3.38 years; this figure assumes the new London Plan target of 774 units per annum applies from FY 2019/20 and factors in shortfall in delivery against past targets since 2019.

7.2.2 The Housing Delivery Test 2022 results (published in December 2023) indicate that housing delivery against Bromley's housing requirement has fallen below 85% over the HDT period; this requires the addition of a 20% buffer to the Council's housing requirement over the FYHLS period (in accordance with Footnote 8 of the NPPF). Applying this buffer to the appeal derived figure noted above gives a supply of 2.96 years. The Council acknowledges this amended appeal derived figure for the purposes of determining this application, and considers this to be a very significant level of undersupply.

7.2.3 The Council is in the process of preparing an updated FYHLS position, reflecting changes since the last published position in November 2021.

7.2.4 The NPPF (2023) sets out in paragraph 11 a presumption in favour of sustainable development. In terms of decision-making, the document states that where a development accords with an up to date local plan, applications should be approved without delay. Where a plan is out of date, permission should be granted unless the application of policies in the Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole.

7.2.5 Having regard to footnote 8 of the NPPF, the policies which are most important for determining this application, including Policy 1 of the Bromley Local Plan, are out-of-date and consequently the presumption in favour of sustainable development as set out in Paragraph 11(d) is engaged.

7.2.6 This application includes the provision of one residential dwelling and would represent a minor contribution to the supply of housing within the Borough. This will be considered in the overall planning balance set out in the conclusion of this report, having regard to the presumption in favour of sustainable development.

- Land Use and Optimising Sites:

7.2.7 Policy H1 Increasing Housing Supply of the London Plan states that to ensure housing targets are achieved boroughs should optimise the potential for housing delivery on all suitable and available brownfield sites through their Development

Plans and planning decisions. Policy 1 of the Local Plan and Policy H1 of the London Plan set the context in the use of sustainable brownfield sites for new housing delivery.

- 7.2.8 Policy H2 Small Sites of the London Plan states that Boroughs should pro-actively support well-designed new homes on small sites (below 0.25 hectares in size) through both planning decisions and plan-making in order to significantly increase the contribution of small sites to meeting London's housing needs.
- 7.2.9 The London Plan does not include a prescriptive density matrix and promotes a design-led approach in Policy D3 to optimise the capacity of sites. The design-led approach requires consideration of design options to determine the most appropriate form of development that responds to a site's context and capacity for growth, and existing and planned supporting infrastructure capacity. Policies D2 and D4 are also relevant to any assessment of development proposals, including whether the necessary infrastructure is in place to accommodate development at the density proposed.
- 7.2.10 Local Plan Policies 4 and 37 accord with the National Planning Policy Framework, which requires development to be sympathetic to local character whilst optimising the potential of sites.
- 7.2.11 For the purposes of this assessment, this site would be considered as an infill site as opposed to backland development as the main elevation would directly face the streetscene. Therefore, in principle the Council will consider further residential development on the land provided that it is designed to complement the character of surrounding developments, the design and layout make suitable residential accommodation, and it provides for garden and amenity space. Any adverse impact on neighbouring amenity, and specifically conservation and historic issues in this case, biodiversity or open space will need to be addressed in the planning balance. Therefore, the provision of a residential use on the land in the form of a single dwellinghouse would be acceptable in principle only.

7.3 Design and Layout – Acceptable

- 7.3.1 Design is a key consideration in the planning process. Good design is an important aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.
- 7.3.2 Paragraph 131 of the NPPF (2023) states the creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.
- 7.3.3 Paragraph 135 of the NPPF (2023) requires Local Planning Authorities to ensure that developments: a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development; b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping; c) are sympathetic to local character and history, including the surrounding built

environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities); d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit; e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

- 7.3.4 London Plan and Bromley Local Plan policies further reinforce the principles of the NPPF setting out a clear rationale for high quality design.
- 7.3.5 Policy D3 of the London Plan relates to ‘Optimising site capacity through the design-led approach’ and states that all development must make the best use of land by following a design-led approach that optimises the capacity of sites. Form and layout should enhance local context by delivering buildings and spaces that positively respond to local distinctiveness through their layout, orientation, scale, appearance and shape. The quality and character shall respond to the existing character of a place by identifying the special and valued features and characteristics that are unique to the locality and respect, enhance and utilise the heritage assets and architectural features that contribute towards the local character.
- 7.3.6 Policy D4 of the London Plan outlines the various methods of scrutiny that assessments of design should be based on depending on the level/amount of the development proposed for a site.
- 7.3.7 Policy D5 of the London Plan relates to ‘Inclusive Design’ and states that development proposal should achieve the highest standards of accessible and inclusive design.
- 7.3.8 Policy H2 of the London Plan states that Boroughs should also recognise in their Development Plans that local character evolves over time and will need to change in appropriate locations to accommodate additional housing on small sites.
- 7.3.9 The general aims of the Council’s design policies state that housing development should be designed to the highest level both internally and externally. In addition, the Council seeks that developments should have regard for the wider context and environment and should seek to enhance the residential environment and attractiveness as a place to live.
- 7.3.10 Policy 4 of the Local Plan details that all new housing developments will need to achieve a high standard of design and layout whilst enhancing the quality of local places respecting local character, spatial standards, physical context and density. To summarise the Council will expect all of the following requirements to be demonstrated: The site layout, buildings and space around buildings be designed to a high quality, recognising as well as complimenting the qualities of the surrounding areas; compliance to minimum internal space standards for dwellings; provision of sufficient external, private amenity space; provision of play space, provision of

parking integrated within the overall design of the development; density that has regard to the London Plan density matrix whilst respecting local character; layout giving priority to pedestrians and cyclists over vehicles; safety and security measures included in the design and layout of buildings; be accessible and adaptable dwellings.

- 7.3.11 Policy 8 of the Local Plan details that when considering applications for new residential development, including extensions, the Council will normally require for a proposal of two or more storeys in height, a minimum 1 metre space from the side boundary of the site should be retained for the full height and length of the building or where higher standards of separation already exist within residential areas, proposals will be expected to provide a more generous side space.
- 7.3.12 Policy 37 of the Local Plan details that all development proposals, including extensions to existing buildings, will be expected to be of a high standard of design and layout. To summarise developments will be expected to meet all of the following criteria where they are relevant; be imaginative and attractive to look at, of a good architectural quality and should complement the scale, proportion, form, layout and materials of adjacent buildings and areas; positively contribute to the existing street scene and/or landscape and respect important views, heritage assets, skylines, landmarks or landscape features; create attractive settings; allow for adequate daylight and sunlight to penetrate in and between buildings; respect the amenity of occupiers of neighbouring buildings and those of future occupants; be of a sustainable design and construction; accessible to all; secure; include; suitable waste and refuse facilities and respect non designated heritage assets.
- 7.3.13 The development on Courtfield Rise, and continuing into Corkscrew Hill, was when built, a regular series of similar buildings, semi-detached two storey houses with deep side roofs over a single storey part. Whilst there have been changes to the side roofs, with the addition of a variety of dormers or full height extensions, the gaps between the houses largely remain and provide a pleasing rhythm. Given the form of the pattern of development at this junction setting where the semi-detached dwelling pairs on each side of Courtfield Rise are angled to turn the corner in terms of how they address the townscape vistas, this would be particularly important and as such are now a prominent feature of the streetscene of both Corkscrew Hill and Courtfield Rise. It is noted that such gaps need not always remain fully open and the presence of the double garage building on approximately the footprint of the proposal shows that built form can be accommodated.
- 7.3.14 Side space policy contains the requirement that gaps at side boundaries should be at least 1m where the proposal is two storeys or more, however, where higher standards exist a greater level of separation may be expected.
- 7.3.15 It is noted that the previous iteration of this proposal positioned the house just 1m from the site boundary with No 28. This has been significantly increased to 2.4m which is considered more akin to the spatial characteristics of this locality and the open junction setting arrangement to Courtfield Rise. The development would not therefore now appear cramped against No 28 with a similar and almost mirrored separation to the boundary as exists at No 28.

7.3.16 Policy requires site layouts, buildings and space around buildings to be designed to a high quality and that they recognise as well as complement the qualities of the surrounding areas. In this case the design of the new dwelling would respond appropriately to many of the features of the established houses in the area. The front elevation would align with No 28 in long streetscene vistas so as it is seen as an unpunctuated progression of the streetscene vistas which is welcomed.

7.3.17 In conclusion, the existing garage building indicates that a building can be accommodated on the site. The revised siting of the new dwelling at a greater separation distance would now appear to compliment the spatial qualities of this area as seen from the main road. Given the design and revised siting, the new dwelling can be seen as a suitable addition to streetscene vistas.

7.4 Standard of Residential Accommodation - Acceptable

7.4.1 The NPPF (2023) paragraph 135 sets an expectation that new development will be designed to create places that amongst other things are safe, inclusive and accessible and have a 'high standard' of amenity for existing and future users.

7.4.2 Policy D6 of the London Plan relates to 'Housing quality and standards' states that housing development should be of high quality design and provide adequately sized rooms with comfortable and functional layouts which are fit for purpose and meet the needs of Londoners. The policy also prescribes internal space within new dwellings and external spaces standards that are in line with the National Technical Housing Standards.

7.4.3 The London Plan Guidance - Housing Design Standards (June 2023) and London Plan prescribes internal space within new dwellings and is suitable for application across all tenures. It sets out requirements for the Gross Internal (floor) Area of new dwellings at a defined level of setting out standards for dwelling size, room layouts and circulation space, storage facilities, floor to ceiling heights, outlook, daylight and sunlight, external amenity space (including refuse and cycle storage facilities) as well as core and access arrangements. The standards apply to new build, conversion and change of use proposals.

7.4.4 Policy D7 of the London Plan - Accessible Housing, states that to provide suitable housing and genuine choice for London's diverse population, including disabled people, older people and families with young children, residential development must ensure that at least 10 per cent of dwellings (which are created via works to which Part M volume 1 of the Building Regulations applies) meet Building Regulation requirement M4(3) 'wheelchair user dwellings' and; all other dwellings (which are created via works to which Part M volume 1 of the Building Regulations applies) meet Building Regulation requirement M4(2) 'accessible and adaptable dwellings'.

7.4.5 Part M compliance statement has been stated within the submitted Design and Access Statement. A compliance condition is recommended with any permission in this regard.

7.4.6 Policy 4 of the BLP also sets out a number of criteria to ensure that all new housing developments will need to achieve a high standard of design and layout whilst

enhancing the quality of local places and ensuring a good standard of amenity for future occupiers.

- 7.4.7 Policy D6 of the London Plan and the nationally described space standard requires a Gross Internal Area of 93m² for a three bedroom five person dwelling house over two levels. The floor space size of the house is in excess of this amount at 103m². On this basis the floorspace provision is considered acceptable.
- 7.4.8 The shape and room size in the proposed house is generally considered satisfactory where none of the rooms would have a particularly convoluted shape which would limit their specific internal use by occupiers. The internal heights achieved within all the rooms would be acceptable. All habitable rooms would have satisfactory levels of light and outlook.
- 7.4.9 In terms of amenity space, the depth of the rear garden albeit reduced by the tapering format of the plot remains comparable with properties in the wider vicinity to provide a usable space for the purposes of a three bedroom dwellinghouse.
- 7.4.10 In terms of Fire Safety, Policy D12 of the London Plan states that in the interests of fire safety and to ensure the safety of all building users, all development proposals must achieve the highest standards of fire safety and ensure that they identify suitably positioned unobstructed outside space for fire appliances to be positioned on; appropriate for use as an evacuation assembly and are designed to incorporate appropriate features which reduce the risk to life and the risk of serious injury in the event of a fire including appropriate fire alarm systems and passive and active fire safety measures; are constructed in an appropriate way to minimise the risk of fire spread; provide suitable and convenient means of escape, and associated evacuation strategy for all building users; develop a robust strategy for evacuation which can be periodically updated and published, and which all building users can have confidence in; provide suitable access and equipment for firefighting which is appropriate for the size and use of the development.
- 7.4.11 A Fire Statement has been submitted with the application detailing measures to be agreed and authorized during technical design and construction by an approved building inspector.
- 7.4.12 For developments of this type below 18m in height, the matter of fire safety compliance is covered by Approved Document B of the Building Regulations.

7.5 Highways – Acceptable

- 7.5.1 The NPPF recognises that transport policies have an important role to play in facilitating sustainable development but also in contributing to wider sustainability and health objectives. Paragraph 109 of the NPPF (2023) requires significant development to be focused on locations which are or can be made sustainable, through limiting the need to travel and offering a genuine choice of transport modes. The NPPF clearly states that transport issues should be considered from the earliest stage of both plan making and when formulating development proposals and development should only be prevented or refused on transport grounds where the residual cumulative impacts of development are severe.

- 7.5.2 The NPPF states that all developments that will generate significant amounts of movement should be required to provide a travel plan, and the application should be supported by a transport statement or transport assessment so that the likely impacts of the proposal can be assessed.
- 7.5.3 London Plan and Bromley Local Plan Policies encourage sustainable transport modes whilst recognising the need for appropriate parking provision. Car parking standards within the London Plan and Bromley Local Plan should be used as a basis for assessment.
- Car parking
- 7.5.4 Policy T6 Car Parking in the London Plan advocates that car-free development should be the starting point for all development proposals in places that are (or are planned to be) well connected by public transport, with developments elsewhere designed to provide the minimum necessary parking ('car-lite').
- 7.5.5 A parking area for two spaces will be provided in the front curtilage for the new dwelling utilising the existing access with a separate and new vehicular access to be created to serve the existing original dwelling at No 30. Given the proximity of the new vehicular access to the road junction of Corkscrew Hill and Courtfield Rise a Road Safety Audit has been submitted to assess the highway impacts of the new vehicle access.
- 7.5.6 Vehicle tracking has been provided and this demonstrates that a car can turn in and out of the access without impacting on the pedestrian refuge. It also stated that a new crossover / access for a new dwelling is likely to be of preference from a road safety perspective.
- 7.5.7 The Council's Highways Officer has assessed the findings and concurs with the findings raising no objection to the location of the new access as proposed.
- Cycle parking
- 7.5.8 London Plan policy T6 seeks the provision of short-stay and long-stay cycle parking spaces in development proposals. Cycle parking should be designed and laid out in accordance with the guidance contained in the London Cycling Design Standards.
- 7.5.9 Cycle parking is required to be 2 spaces for dwellinghouses. The applicant has provided details of a location for cycle storage. A planning condition is recommended in this regard for further details and containment structures with any permission.
- Refuse
- 7.5.10 All new developments shall have adequate facilities for refuse and recycling. The applicant has provided details of a location for refuse storage. A planning condition is recommended in this regard for further details and containment structures with any permission.

7.6 Neighbour Amenity - Acceptable

- 7.6.1 Policy 37 of the Bromley Local Plan seeks to respect the amenity of occupiers of neighbouring buildings and those of future occupants, providing healthy environments and ensuring they are not harmed by noise and disturbance, inadequate daylight, sunlight, privacy or by overshadowing.
- 7.6.2 Policy 4 of the Bromley Local Plan also seeks to protect existing residential occupiers from inappropriate development. Issues to consider are the impact of a development proposal upon neighbouring properties by way of overshadowing, loss of light, overbearing impact, overlooking, loss of privacy and general noise and disturbance.
- 7.6.3 In terms of outlook, the fenestration arrangement will provide mainly front and rear outlook to habitable rooms. First floor windows are shown in the flank elevations facing No 28 and to the existing No 30 which are to bathrooms and a landing circulation space. Obscure glazing is indicated on the plans to ensure privacy. Overall, the outlook from windows is considered to maintain a suitable level of privacy to existing neighbouring property.
- 7.6.4 In the previous scheme due to the closer footprint position of the dwelling it was considered that the proposed building would be detrimental to neighbouring amenity due the scale and massing of the resultant dwelling both taking into account its siting, the minor topographical differences in ground level and the design of the neighbouring dwelling, which needs to be taken into account in respect of its reliance on mostly first floor side windows for light ingress and its main entrance being to the side.
- 7.6.5 The revised scheme as detailed above has increased the separation distance significantly. This also allows a significant decrease in the proximity of the massing arrangement of the new dwelling as previously proposed. Given the resultant separation distances to the side space distances proposed it is now considered that this will ensure that the dwelling would not be unduly overbearing or damaging to neighbouring amenity as proposed. Nevertheless, whilst the proposed dwelling in its current form would not significantly impact on the amenities of the neighbouring properties, it is considered appropriate to remove permitted development rights in order to allow the Council to consider any future development which may result in an enlargement to the property that could have a detrimental impact upon neighbouring amenity.

7.7 Sustainability - Acceptable

- 7.7.1 The NPPF requires Local Planning Authorities to adopt proactive strategies to mitigate and adapt to climate change. London Plan and Local Plan Policies advocate the need for sustainable development. All new development should address climate change and reduce carbon emissions.
- 7.7.2 Paragraph 9.2.3 of the London Plan states that Boroughs should ensure that all developments maximise opportunities for on-site electricity and heat production from solar technologies (photovoltaic and thermal) and use innovative building materials

and smart technologies. This approach will reduce carbon emissions, reduce energy costs to occupants, improve London's energy resilience and support the growth of green jobs.

- 7.7.3 Local Plan Policy 123 states that all applications for development should demonstrate how the principles of sustainable design and construction have been taken into account.
- 7.7.4 Five Solar panels are shown to the south roof slope.
- 7.7.5 An informative is recommended with any approval to ensure that the development strives to achieve these objectives. For a non major scheme, energy and water efficiency can only be secured under the building regulation regime as standard, in order to meet the requirements of Policies 123 and 124 of the Local Plan and Policy SI 2 of the London Plan.

7.8 Sustainable Drainage – Acceptable

- 7.8.1 Policy SI 13 Sustainable Drainage of the London Plan states that development proposals should aim to achieve greenfield run-off rates and ensure that surface water run-off is managed as close to its source as possible.
- 7.8.2 Policy 116 of the Local Plan details that all developments should seek to incorporate sustainable Urban Drainage Systems (SUDS) or demonstrate alternative sustainable approaches to the management of surface water as far as possible.
- 7.8.3 It is recommended that further detail of a scheme for the provision of surface water drainage and foul drainage shall be submitted by planning condition.

7.9 Air Quality - Acceptable

- 7.9.1 Policy SI 1 of the London Plan outlines in summary that development proposals should not lead to further deterioration of existing poor air quality and shall minimise increased exposure to existing air pollution and make provision to address local problems of air quality in preference to post-design or retro fitted mitigation measures.
- 7.9.2 Policy 120 of the Local Plan states that developments which are likely to have an impact on air quality or which are located in an area which will expose future occupiers to pollutant concentrations above air quality objective levels will be required to submit an Air Quality Assessment.
- 7.9.3 The site is located within the Bromley AQMA (2020). Therefore, it is considered prudent for the development to incorporate Ultra Low NOx boilers as necessary. A condition is recommended in this regard with any permission.

7.10 Green Infrastructure/Natural Environment

- 7.10.1 Paragraph 180 of the NPPF (2023) outlines that planning policies and decisions should contribute to and enhance the natural and local environment by minimising

impacts on and providing net gains for biodiversity, including by establishing coherent ecological networks that are more resilient to current and future pressures.

- Trees and landscaping

7.10.2 London Plan Policy G7 focuses on London's urban trees, setting out that development proposals should ensure that, wherever possible, existing trees of value are retained. If the removal of trees is necessary, there should be adequate replacement based on the existing value of the benefits of the trees removed.

7.10.3 Policy 73 of the Bromley Local Plan states that proposals for new development will be required to take particular account of existing trees on the site and on adjoining land, which in the interests of visual amenity and/or wildlife habitat, are considered desirable to be retained.

7.10.4 Policy 77 of the Bromley Local Plan states that development proposals will seek to safeguard the quality and character of the local landscape and seek the appropriate restoration and enhancement of the local landscape through the use of planning obligations and conditions.

7.10.5 Minimal landscaping detail has been submitted as shown on the proposed site plan drawing that details the areas given over to garden and hard landscaping for external amenity for future occupiers. Further details are recommended to be sought by planning condition.

- Biodiversity Net Gain

7.10.6 London Plan Policy G6 states that proposals that create new or improved habitats that result in positive gains for biodiversity should be considered positively. Policy G6 Part D further advises that "Development proposals should manage impacts on biodiversity and aim to secure net biodiversity gain. This should be informed by the best available ecological information and addressed from the start of the development process."

7.10.7 Under the Environment Act 2021, all development that falls under the Town and Country Planning Act 1990 requires that all planning permissions granted in England (with a few exemptions), have to deliver at least 10% biodiversity net gain (BNG) if submitted from 2nd April 2024.

7.10.8 This application was received prior to this date and therefore is not required to achieve the BNG in law in the current transitional period.

7.10.9 Regardless of this, a future landscaping scheme will be expected to show a significant qualitative biodiversity net gain in order to satisfy the landscaping condition to be attached with any permission.

7.11 Community Infrastructure Levy (CIL)

7.11.1 The Mayor of London's CIL and the Borough CIL are material considerations. CIL is payable on this application and the applicant has completed the relevant form.

7.12 Other matters

7.12.1 Concerns have been raised from third party representations in respect of construction methodology. A Construction and Environmental Management Plan obtained by planning condition prior to commencement of development is recommended to address this issue.

7.12.2 Notwithstanding the assessment of the current proposal and its acceptability in terms of the impact on the character of the area and the amenities of neighbouring properties, the proposal will increase the amount and scale of development on the site, and any further increase through individual enlargements to the dwellings could have the potential to result in a detrimental impact upon neighbouring amenity and/or local character. It is therefore considered appropriate to remove permitted development rights to allow the Council to consider any future development on its planning merits having regard to the above-mentioned considerations.

8 CONCLUSION

8.1 Taking into account the above, the proposed development would have a high quality design and would not have an unacceptable impact on the amenity of neighbouring occupiers. It is considered that the site optimisation of the proposed scheme is acceptable and that the development would not be detrimental to the context, character and appearance of the area and locality. The standard of the accommodation that will be created will be good. The proposal would not have an adverse impact on the local road network or local parking conditions. The proposal would be constructed in a sustainable manner and would achieve good levels of energy efficiency. It is therefore recommended that planning permission is granted subject to the imposition of suitable conditions.

8.2 On balance the positive impacts of the development are considered of sufficient weight to approve the application with regard to the presumption in favour of sustainable development to increase housing supply.

8.3 Background papers referred to during production of this report comprise all correspondence on the files set out in the Planning History section above, excluding exempt information.

RECOMMENDATION: Application Permitted

Subject to the following conditions:

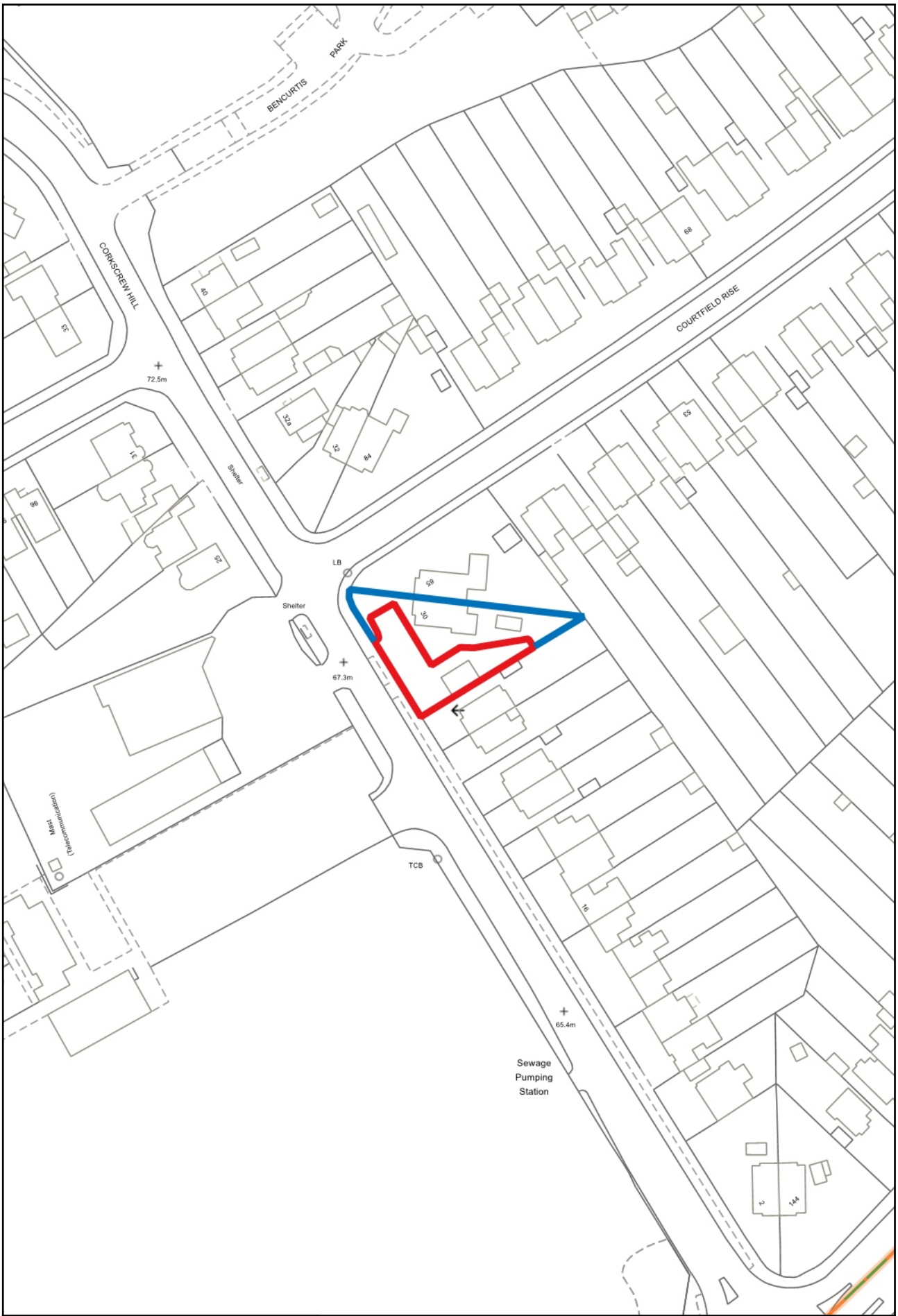
- 1. Standard time limit of 3 years.**
- 2. Standard compliance with approved plans.**
- 3. Details of sustainable surface water drainage.**
- 4. Construction and Environmental Management Plan.**
- 5. Details of landscaping for hard and soft areas.**
- 6. Details of materials.**
- 7. Details of refuse storage containment.**
- 8. Details of cycle parking.**

9. Parking arrangements to be installed as approved (Existing and Proposed dwelling).
10. Details of electric car charging point.
11. No additional pipes or plumbing.
12. Removal of all permitted development rights.
13. Implementation in accordance with approved slab levels
14. Compliance with Part M of the Building Regulations.
15. Restriction on height to front and flank boundary enclosures.
16. No loose materials for surfacing of the parking and turning area.
17. Installation of ultra-low NOx boilers.
18. Obscure glazing to flank elevation bathroom first floor windows.
19. Fire safety compliance.


Delegated Authority be given to the Assistant Director: Planning & Building Control to make variations to the conditions and to add any other planning condition(s) as considered necessary.

Informatives

1. Reminder regarding submission of pre commencement conditions.
2. Contact naming and numbering Officer at the Council.
3. Reminder of CIL payments.
4. Street furniture or Statutory Undertaker's apparatus repositioning.
5. Reminder regarding Part M compliance.
6. Reminder regarding Part B compliance.
7. Contaminated Land Informative.
8. Thames Water Informative.
9. Energy efficiency measures.



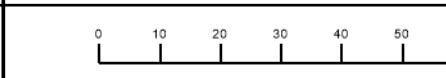
© Crown copyright and database rights 2024.
 Ordnance Survey 100017661.

 23/04799/FULL1
www.bramley.gov.uk

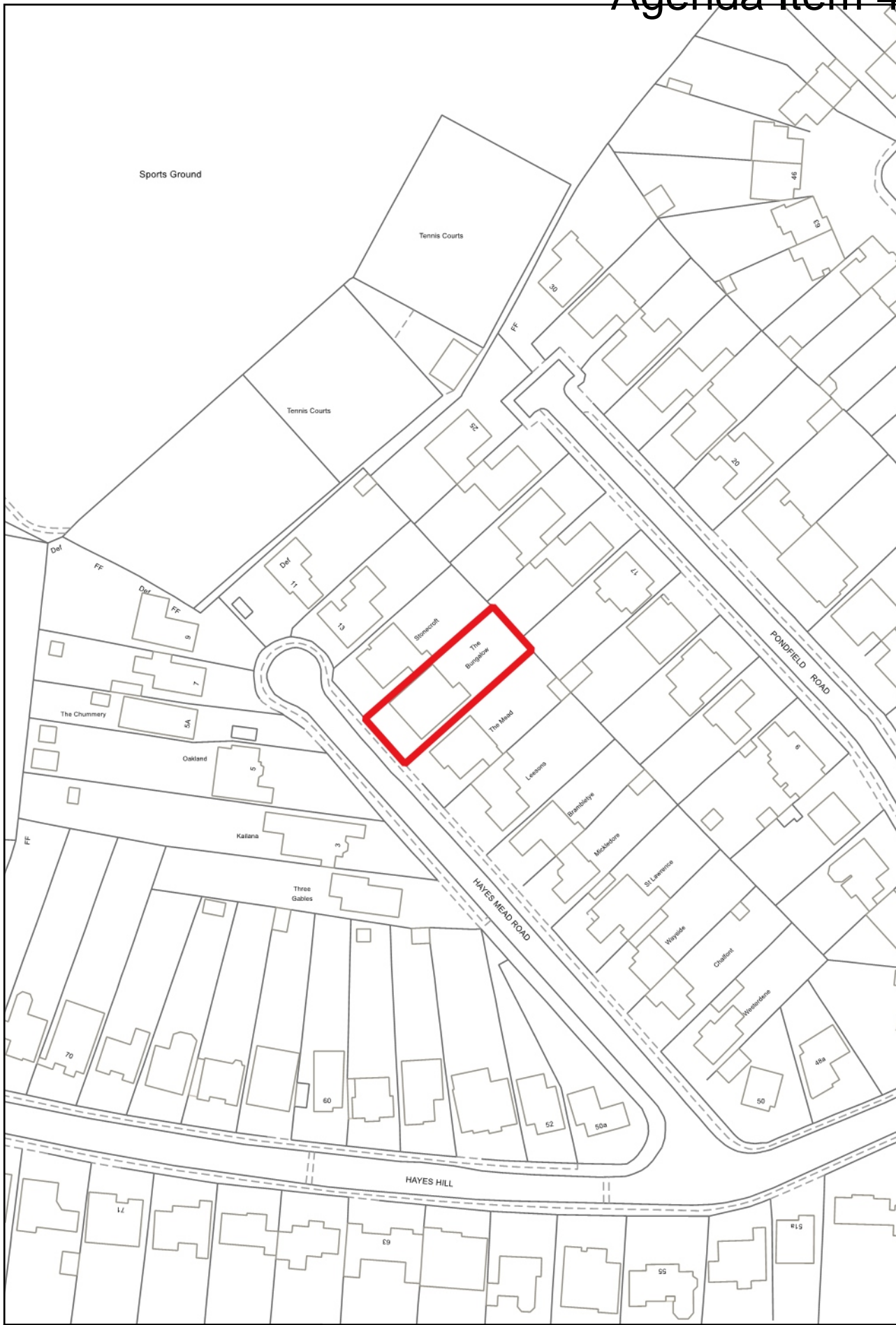


07 May 2024


1:1250




This page is left intentionally blank

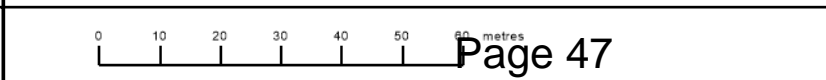


© Crown copyright and database rights 2024.
Ordnance Survey 100017661.


24/00512/FULL6



07 May 2024 1:1250



This page is left intentionally blank

Committee Date	16.05.2024	
Address	The Bungalow Hayes Mead Road Bromley BR2 7HR	
Application Number	24/00512/FULL6	Officer - Susanna Stevenson
Ward	Hayes and Coney Hall	
Proposal	Proposed single storey front extension with new porch and part side extension and conversion of existing garage to habitable accommodation, single storey rear extension, loft conversion with rear dormer, roof alterations to form crown roof feature and roof lights.	
Applicant	Agent	
Mr Hasmukh Taank	Mr A Martin	
The Bungalow Hayes Mead Road Hayes Bromley BR2 7HR	Crown House Home Gardens Dartford DA1 1DZ	
Reason for referral to committee	Cllr. Call-in	Councillor call in Yes (Cllr. Alexa Michael) – would like this application comes to PSC for a members' decision in view of neighbour's concerns.

RECOMMENDATION	PERMISSION
-----------------------	------------

KEY DESIGNATIONS Article 4 Direction Biggin Hill Safeguarding Area London City Airport Safeguarding Open Space Deficiency Smoke Control SCA 2

Land use Details		
	Use Class or Use description	Floor space (GIA SQM)

Existing and proposed	C3 – Dwellinghouses	80.7 sqm GIA to be added to the development.
-----------------------	---------------------	--

Representation summary	<ul style="list-style-type: none"> • Neighbour notification letters were sent on the 12th February 2024.
Total number of responses	2
Number in support	0
Number of objections	2

UPDATE 16.05.2024

This application for planning permission was reported to the Plans Sub-Committee 3 meeting held on 18th April 2024.

Members resolved to defer the determination of the application without prejudice, in order to ask the applicant to consider removing the rear dormer and substituting this with rooflights.

The applicant has advised that the current proposal already represents a modification/compromise of a previously refused scheme. Replacing the dormer with rooflights would not be a workable solution with regards to the internal open plan design of the dwelling – the underside of the roof slope would be too close to/overbearing to the internal balcony space.

The applicant notes that there are other examples of rear dormers including at second floor level in the area, one of which includes a first floor external terrace and another which includes a full height second floor window. Dormers are a common feature within the borough.

It is therefore requested that Members determine the application in its current form.

The original report is repeated below, updated where necessary.

1. SUMMARY OF KEY REASONS FOR RECOMMENDATION

- **The proposed single storey front extension with new porch, single storey rear extension and part side extensions are of reasonable scale and would not have a detrimental visual impact to the appearance of the main dwelling or the character of the surrounding area in general.**
- **The proposed roof alterations to form a crown roof feature and rooflights would not result in any significant harm on visual amenities.**
- **The proposed loft conversion with rear dormer would not result in undue loss of privacy to the surrounding neighbours.**
- **No objection from Highways to the proposed garage conversion.**

2. LOCATION

- 2.1 The application site hosts a detached bungalow on the northeastern side of Hayes Mead Road, Bromley. The property is not listed nor within any area of special designation. Hayes Mead Road is a residential cul-de-sac and is characterised with a mix of two-storey detached dwellings and bungalows.



Figure 1 Site location plan - position of application property outlined in red



Figure 2 – Aerial view of site



Figure 3 – photo of the site viewing from Hayes Mead Road

3. PROPOSAL

- 3.1 The proposal is for single storey front extension with new porch and part side extension and conversion of existing garage to habitable accommodation, single storey rear extension, loft conversion with rear dormer, roof alterations to form crown roof feature and roof lights.

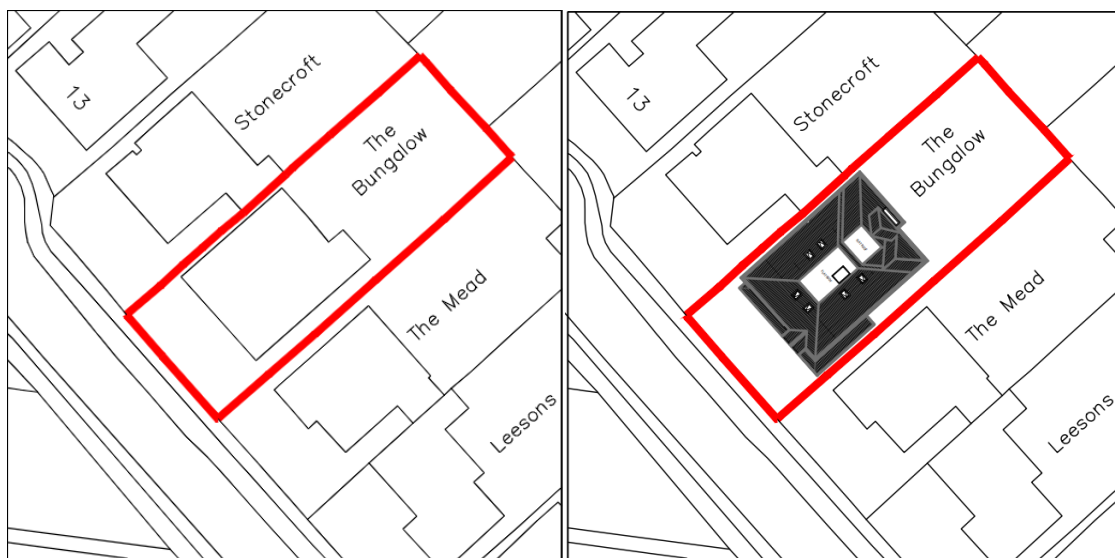


Figure 4 & 5 – Existing (left) and Proposed (right) block plan

- 3.2 The proposed single storey front extension and the new front porch would be approx. 0.9m in depth and 2.7m in width each. The proposed part side extension would be approx. 1.55m in width and 6.95m in depth. They would share a pitched roof with a maximum height of approx. 3.33m and an eaves height of approx. 2.65m. The new front porch would have a gable feature within its dual-pitched roof with a maximum height of approx. 3.74m.
- 3.3 The proposed single storey rear extension would extend for approx. 3m from the rear of the main dwelling and have a width of approx. 7.38m. It would have a pitched roof extending from the proposed roof alterations to the main roof with an eaves height of approx. 2.91m. Double glazed sliding doors and a window to rear garden are shown on the drawings.
- 3.4 The proposed garage conversion would turn the existing space and the new space created by the part side extension into a foyer with a toilet and a landing to upstairs. A front window and a rear window are shown on the drawings.

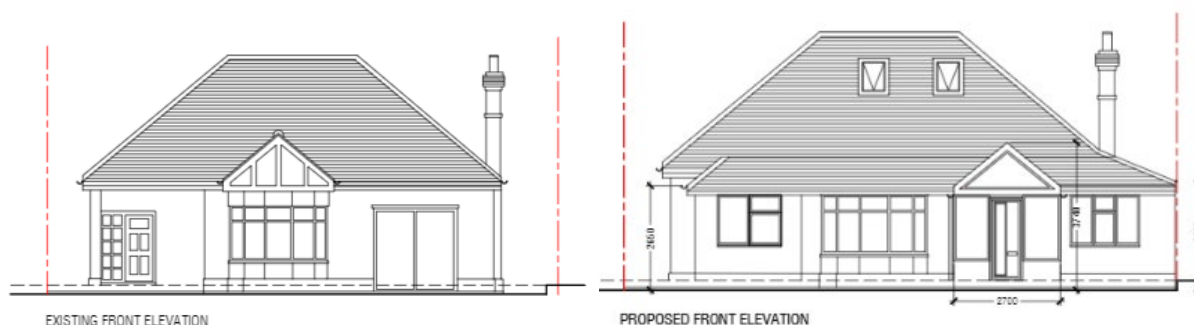


Figure 6 & 7 – Existing (left) and Proposed (right) front elevation

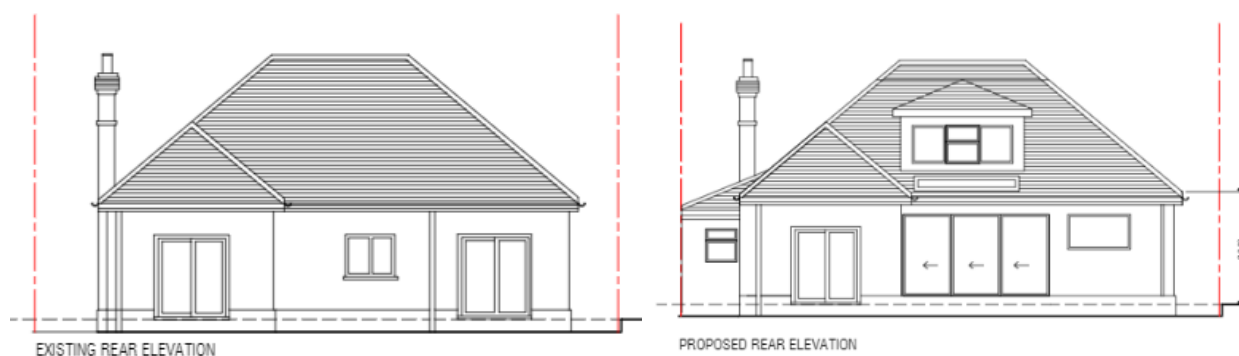


Figure 8 & 9 – Existing (left) and Proposed (right) rear elevation



Figure 10 & 11 – Existing (left) and Proposed (right) side elevations

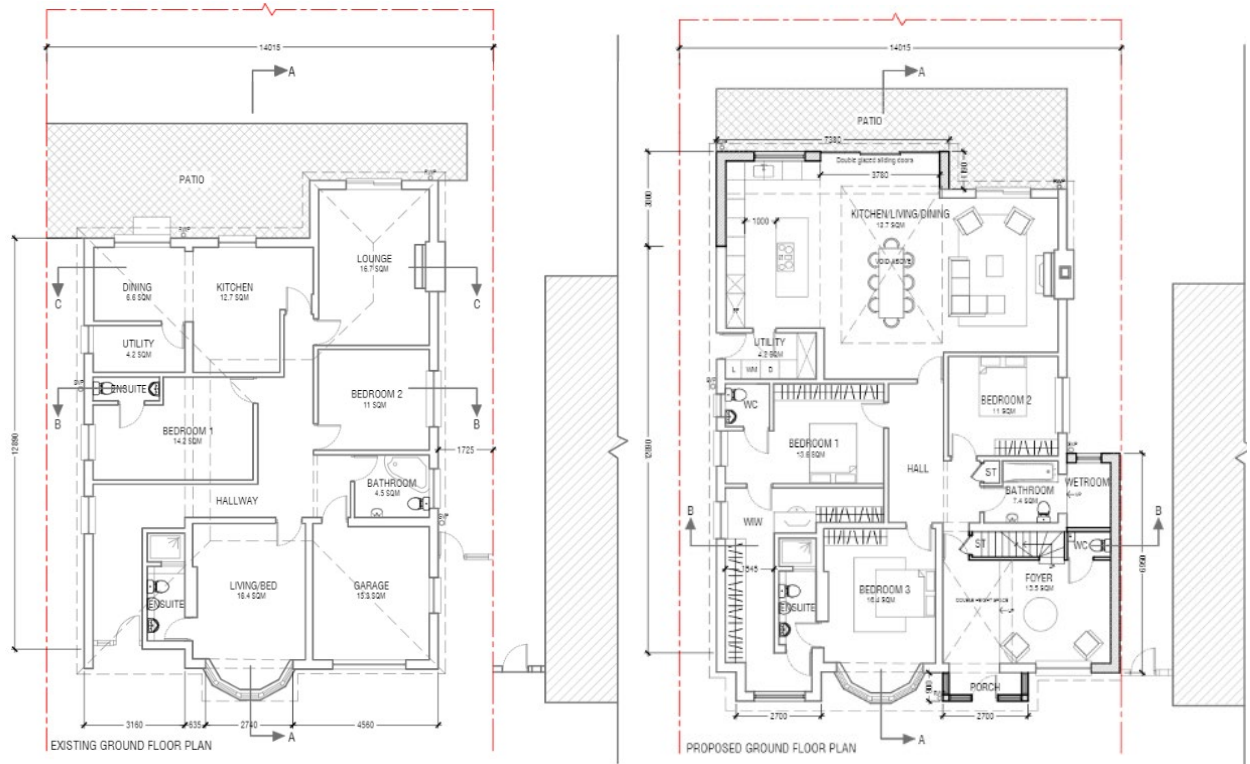


Figure 12 & 13 – Existing (left) and Proposed (right) ground floor plan

3.5 The proposed loft conversion with rear dormer, roof alterations to form crown roof feature and insertion of rooflights are shown in figures 8-11 and 14-16.

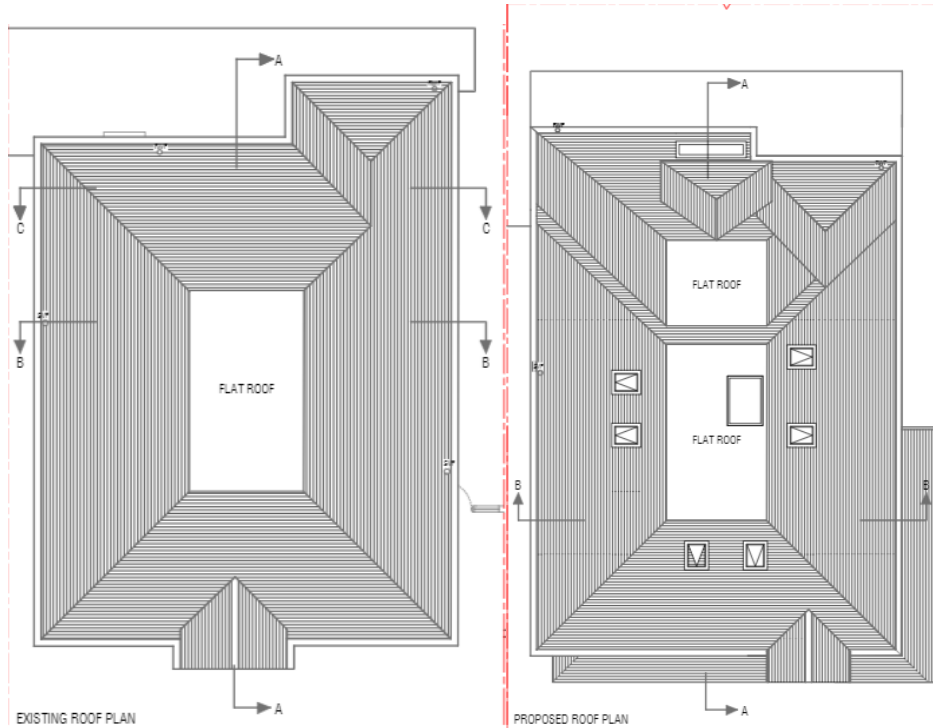


Figure 14 & 15 – Existing (left) and Proposed (right) roof plan

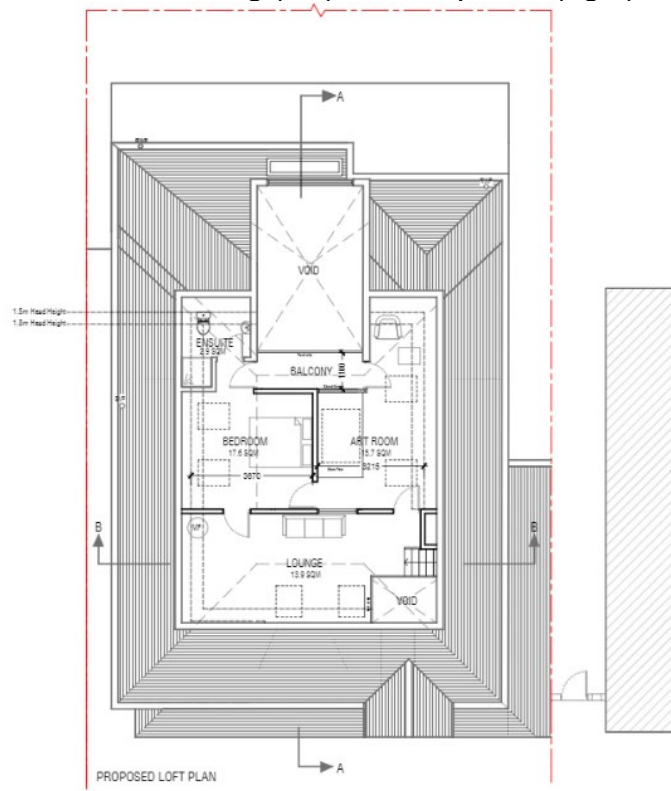


Figure 16 – Proposed loft plan

4. RELEVANT PLANNING HISTORY

99/00450/FULL1 - Single storey side extension – Permitted

23/00790/FULL6 - Single storey front and side extension with new porch and conversion of existing garage to habitable accommodation, single storey rear extension, loft conversion with front dormer, roof alteration to form rear gable end feature, solar panels, rooflights and lantern roof light. – Refused

5. CONSULTATION SUMMARY

A) Statutory

Highways: **No objection**

The proposed development involves converting an existing garage into a habitable accommodation which would result in the loss of one parking space. However, there are available spaces within the site's curtilage that can be utilised for parking. Given that this is a small development, no objections are raised from a highways' perspective.

B) Local Groups

None.

C) Adjoining Occupiers

The following representations were received and are summarised as follows:

Character of the area (addressed in paragraphs 7.2)

- Main objection relates to the first floor or loft plan level of the proposed rear elevation

Neighbouring amenity (addressed in paragraphs 7.3)

- Although there is a distant view from the internal balcony but this void could be enclosed in the future and converted to a habitable room
- The proposed high level window would provide the opportunity to overlook neighbouring rear gardens and internal living spaces
- Image 3 in the Design and Access Statement was presumably taken with a convex lens gives the appearance of a long garden and the description beneath says 'Reasonable distance from the back of the property to neighbours.' However, if the back of the house is allowed to extend as requested and our concerns about the window noted above are not addressed, the distance between us would not be reasonable.

6. POLICIES AND GUIDANCE

National Planning Policy Framework December 2023

NPPG

The London Plan

- D1 London's form, character and capacity for growth
- D3 Optimising site potential through the design led approach
- D4 Delivering Good Design

Bromley Local Plan 2019

- 6 Residential Extensions
- 37 General Design of Development

Supplementary Planning Guidance

Urban Design Supplementary Planning Document (July 2023)

7. ASSESSMENT

7.1 Resubmission

- 7.1.1 The current application is a resubmission of application ref. 23/00790/FULL6 which was refused for the following reason:

The proposed extensions and roof alterations, by reason of their bulk, siting and design, would not respect or complement the scale, form and proportion of the host dwelling and would create an incongruous feature within the street scene generally; thereby contrary to Policies 6 and 37 of the Bromley Local Plan.

- 7.1.2 The main changes between the previous application refused in June 2023 and the current application ref. 24/00512/FULL6 are set out as follows:

- Removal of front dormer
- Removal of solar panels
- Removal of a second front bay window on ground floor and as a result the width of the proposed new front porch would increase from approx. 1.85m to 2.7m.
- Design change to proposed roof alterations from a rear gable end feature to a crown roof feature which would set below the main roof ridge by approx. 0.5m. A rear dormer is proposed sitting on the extended rear roof slope.
- Replacing the lantern roof light by a flat roof light
- Reduced width of the single storey rear extension from approx. 11.06m to 7.38m

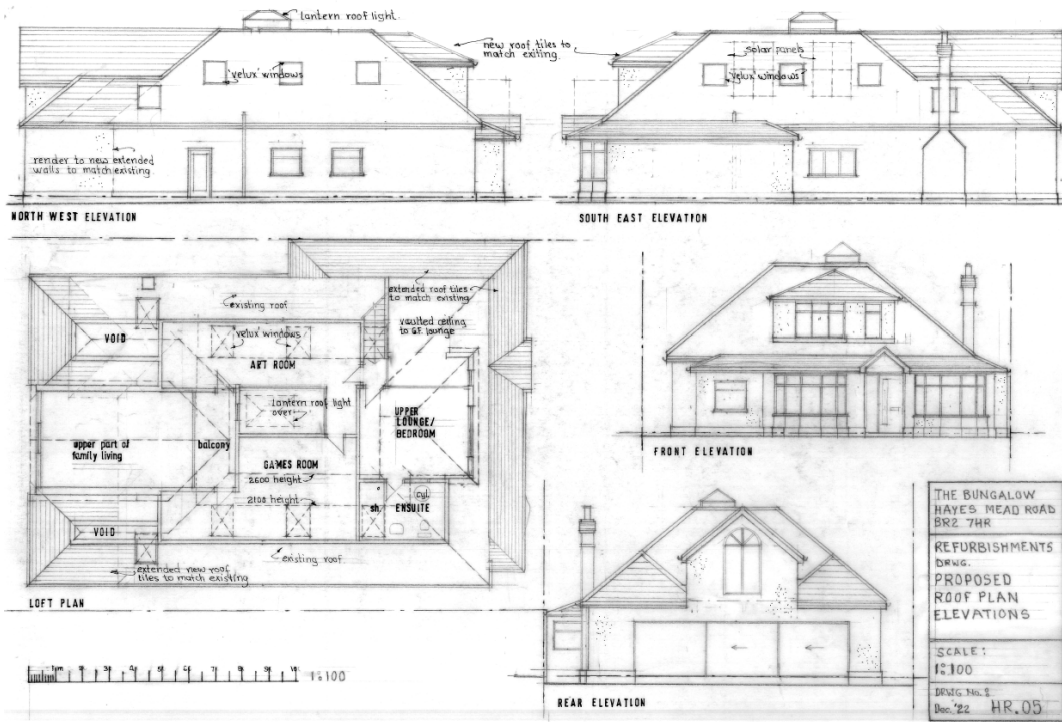


Figure 17 – Elevations and loft plan of previously refused application (ref. 23/00790/FULL6)

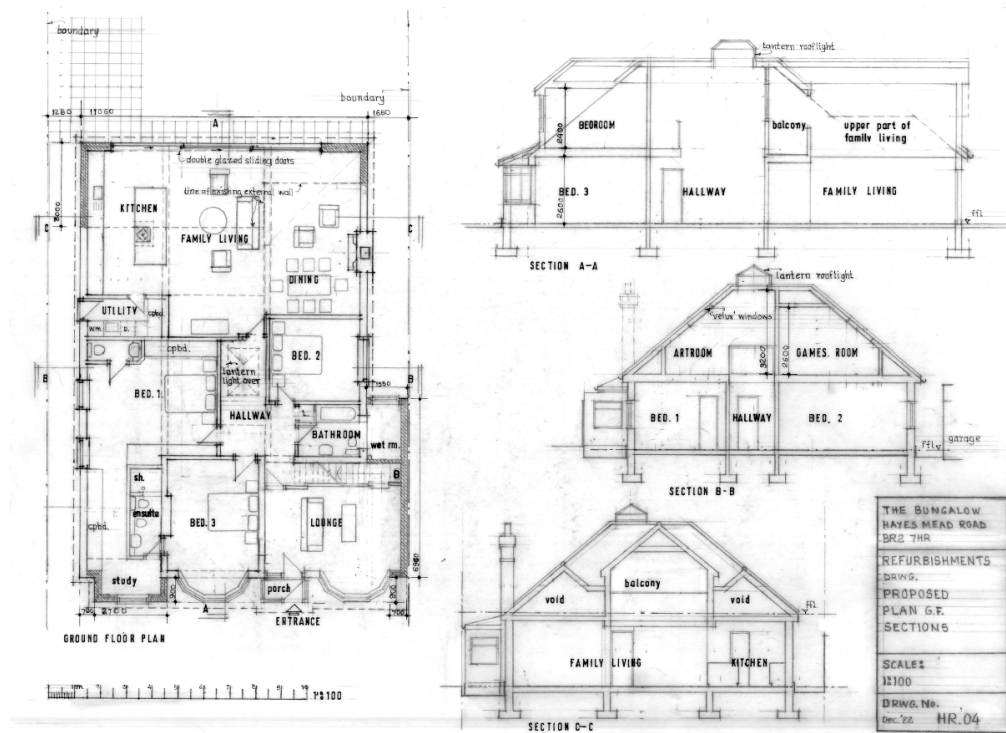


Figure 18 – Ground floor plan and sections of previously refused application (ref. 23/00790/FULL6)

7.2 Design, scale and layout - ACCEPTABLE

- 7.2.1 The NPPF states that good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.
- 7.2.2 London Plan and Bromley Local Plan policies further reinforce the principles of the NPPF setting out a clear rationale for high quality design. Policy D3 of the London Plan states that all development must make the best use of land by following a design-led approach that optimises the capacity of sites. Form and layout should enhance local context by delivering buildings and spaces that positively respond to local distinctiveness through their layout, orientation, scale, appearance and shape. The quality and character shall respond to the existing character of a place by identifying the special and valued features and characteristics that are unique to the locality and respect, enhance and utilise the heritage assets and architectural features that contribute towards the local character. locality and respect, enhance and utilise the heritage assets and architectural features that contribute towards the local character.
- 7.2.3 Policies 6 and 37 of the Bromley Local Plan (BLP) and the Council's Supplementary design guidance seek to ensure that new development, including residential extensions are of a high quality design that respect the scale and form of the host dwelling and are compatible with surrounding development. Policy DG5 of the Urban Design Guide SPD (2023) states that extensions and alterations to existing dwellings should respond to character (by adopting an appropriate design approach) and appear subservient in scale to avoid uncharacteristically large additions which can significantly change the appearance of a property and have a detrimental impact on character and amenity. Careful consideration should be given to form, fenestration, materials and detailing.
- 7.2.4 At ground floor level this re-submitted scheme would have the proposed second front bay window removed. Although the proposed new front porch would have an increase in width by approx. 0.85m, the proposed depth (approx. 0.9m) of it and the single storey front extension is considered modest and would not extend beyond the existing front elevation with the front bay window. The proposed scale of the part side extension would remain the same as last application. The host dwelling is surrounded by an eclectic mix of housing styles and sizes and many of which have been extended and remodelled such as "Hillyfields" (No.11) and "The Mead". Although this mix is not defined by any particular character, the properties along Hayes Mead Road do share certain characteristics such as a hipped main roof design. Whilst the existing front gable feature would be repositioned slightly to the right of the front elevation, it is not considered to cause significant visual impact to the main dwelling or street scene with the modest projection and sympathetic design with a hipped roof.
- 7.2.5 The proposed depth of the single storey rear extension would remain at approx. 3m but the width of it would be reduced by approx. 3.68m. The reduction in bulk at rear is considered acceptable and its overall subservience would not cause any harmful visual impact to the main dwelling or street scene.

- 7.2.6 At first floor/ loft level, this resubmission would remove the front dormer and replace the rear gable end feature by a rear dormer. The overall bulk at this level would be significantly reduced from the last refusal. The proposed roof alterations would extend approx. 7.54m from the main roof ridge to form a rear gable end feature while total depth of the proposed roof alterations would reduce by approx. 1.92m to 5.62m when compared to the recently refused scheme. The proposed crown roof would extend approx. 2.67m further from the rear main roof and set below the main roof ridge by approx. 0.5m. The size of the proposed rear dormer is considered modest (approx. dimension D.2.83m x W3.2m x H2.43m) and would be set below the main roof ridge by approx. 0.5m and set in from the eaves by approx. 0.99m. Overall, having regard to the significant reduction in bulk at roof level and its siting at rear main roof slope, the proposed roof alterations are considered acceptable and would now appear subservient to the host dwelling and sympathetic to the existing roof form.
- 7.2.7 Other proposed alterations at roof level would include the insertion of seven roof lights as shown in the proposed roof plan (figure 15 above). This resubmission would see the previously proposed lantern rooflight replaced by a flat rooflight. This replacement is considered acceptable and would not be unduly prominent when viewed from the street. Similar rooflights on main roof slope are common along Hayes Mead Road and therefore, they are considered acceptable addition and would not cause visual harm to the main dwelling or the surrounding area.
- 7.2.8 Overall, this resubmission is considered acceptable and would be able to overcome the previous reason for refusal under application ref. 23/00790/FULL6.

7.3 Neighbouring amenity - ACCEPTABLE

- 7.3.1 Policy 37 of the Bromley Local Plan seeks to protect existing residential occupiers from inappropriate development. Issues to consider are the impact of a development proposal upon neighbouring properties by way of overshadowing, loss of light, overbearing impact, overlooking, loss of privacy and general noise and disturbance.
- 7.3.2 Neighbouring objections were received regarding potential overlooking and loss of privacy resulting from the proposed rear dormer. It is observed during site visit at the application property and the neighbouring property at No.19 Pondfield Road that both sites benefit from generous size of rear gardens. Scaling from submitted site location plan (figure 1 above), it is measured that the application property enjoys a rear garden approx. 19.37m in length while No.19 Pondfield Road enjoys one approx. 17.25m in length. Whilst the application property and some of the opposite neighbours along Pondfield Road are bungalows, there are also some two-storey properties along Hayes Mead such as Hillyfields (No.11) and The Mead which have already caused a certain degree of overlooking from their first floor rear windows to properties along Pondfield Road.



Figure 19 – Photo of the application property’s rear garden taken during site visit



Figure 20 – Photo of No.19 Pondfield Road’s rear garden (neighbour directly opposite to the application property) taken during site visit



Figure 21 – Photo of The Mead (two-storey property adjacent to application property)



Figure 22 – Photo of Hillyfields (No.11 Hayes Mead Road)

7.3.3 Submitted plans show a void space at first floor/ loft level with approx. 1.5m & 1.8m head height between the rear dormer window and an inner balcony area with handrails. Scaling from the submitted proposed loft plan the void space would be approx. 5.21m in depth. As such there would be a considerable distance from the nearest functionable space to this rear dormer window which would allow for direct views from this window.

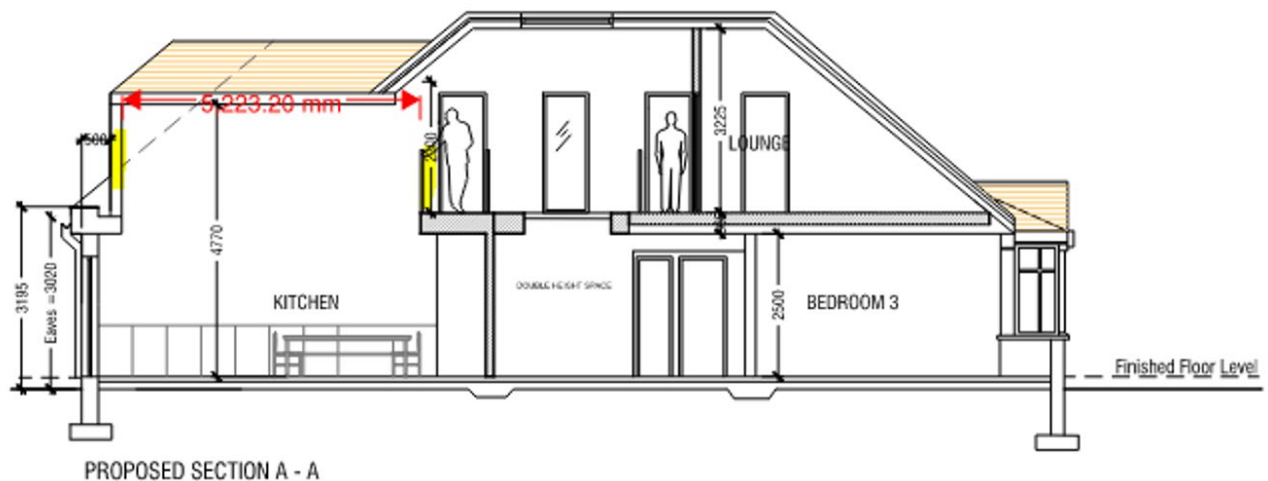


Figure 23 – section through extension

7.3.4 Whilst it is currently shown as a void space, this would not prohibit any future alterations. Nevertheless, a rear dormer window is not uncommon in a residential setting such as this. As such, having regard to the separation distance, the siting and the existing degree of overlooking of the nearby properties, it is considered that the proposed rear dormer would not lead to harmful increase in overlooking and loss of privacy to the occupiers of neighbouring properties.

7.3.5 Other elements in the proposal including the single storey front extension with new porch, part side ground floor side extension and single storey rear extension are considered acceptable given their modest scale. As such it is not considered these would cause any undue loss of amenity to the neighbouring properties.

7.4 Highways - ACCEPTABLE

7.4.1 The proposed garage conversion would remain the same as last refused application. It would turn the existing space into a foyer. Whilst the garage conversion would result in the loss of one parking space, there are spaces available within the site's curtilage which could be utilised for parking. No highways objections have been raised in respect of the proposals.

8. CONCLUSION

8.1 Planning permission was refused for the previous proposal on the ground:

“The proposed extensions and roof alterations, by reason of their bulk, siting and design, would not respect or complement the scale, form and proportion of the host dwelling and would create an incongruous feature within the street scene generally; thereby contrary to Policies 6 and 37 of the Bromley Local Plan.”

8.2 It is considered that the design, bulk and siting of the proposed extensions/roof alterations represents a significant reduction in scale and bulk at roof level, resulting in a much improved development that would complement the scale, form and proportions of the host dwelling and which would not appear uncharacteristic with the character of the area/visual amenities of the street scene.

8.3 Taking into account the reduction in the scope of the development, along with the significant back-to-back separation between the rear of the host dwelling and the nearest neighbouring dwelling (approx. 34m) and the retained depth of the rear garden (approx. 17m), the modest size of the rear dormer window aperture and the limited potential for overlooking from the internal balcony, it is not considered that the proposal would have a significant impact on neighbouring residential amenity, including with regards to privacy. The application site is located within a suburban location where some degree of mutual overlooking is quite common and not uncharacteristic.

8.4 The ground of refusal of planning permission under reference 23/00790/FULL6 did not refer to concern over impact on neighbouring residential amenity. The current proposal reduces any such impact relative to the refused scheme and is therefore considered acceptable.

8.5 Background papers referred to during production of this report comprise all correspondence on the files set out in the Planning History section above, excluding exempt information.

RECOMMENDATION: Application Permitted

Subject to the following conditions:

- 1. Standard time limit**
- 2. Standard compliance with approved plans**
- 3. Materials in accordance with approved plans**

And delegated authority be given to the Assistant Director: Planning & Building Control to make variations to the conditions and to add any other planning condition(s) as considered necessary.